

North Village Overlay District Ordinance



Wasatch County Code Chapter 16.16
North Village Overlay District

Adopted by Ord. 2002 Code §16.08.03 on 1/1/2002
Amended by Ord. 2003-22 on 11/24/2003
Amended by Ord. 11-09 on 11/30/2011
Amended by Ord. 2012-13 on 11/14/2012
Amended by Ord. 14-15 on 11/5/2014
Amended by Ord. 17-14 on 8/16/2017
Amended by Ord. 19-12 on 12/18/2019

SECTION I - GENERAL PROVISIONS

1. AUTHORITY

- a. The action of the Wasatch County, Utah (the "County") in adopting this Code is authorized under the Constitution and statutes of the State of Utah.
- b. This Code is adopted as one of the instruments of implementation of the public purposes and objectives of the adopted General Plan of Wasatch County, as amended (the "General Plan"). This Code is declared to be in accord with the Wasatch County General Plan, as required by the Code of the State of Utah, as amended.
- c. This Code is adopted and may be amended by vote of the Wasatch County Council.

2. TITLE

- a. This Code shall be known and may be cited as the "North Village Overlay District Code" or the "Code."

3. PURPOSE AND INTENT

- a. This Code is adopted for the purposes of promoting the health, safety, morals, and general welfare within the North Village Overlay District of Wasatch County and its citizens, including without limitation, protection of the environment, conservation of land, energy and natural resources, reduction in vehicular traffic congestion, more efficient use of public funds, health benefits of a pedestrian environment, preservation of natural features, education and recreation, reduction in sprawl, support for property rights and values, and improvement of the built environment.
- b. To further the goals and objectives of the Wasatch County General Plan and the purpose of this Code, the District is divided into Transect Zones ("T-Zones" or "Zones") of such number, characteristics, area, common unity of purpose, adaptability, or use as will accomplish the goals and objectives of the General Plan and this Code.
- c. To provide a mixture of housing types and land uses in a compatible setting and a true mixed use environment.
- d. To provide for non-motorized transportation options including bike/ped with connections to the county-wide trails system and providing for internal connectivity.
- e. The North Village Overlay District Code is intended to advance both conservation and development in a manner which responds to the existing conditions of the district, its regional context, its natural features, infrastructure, and buildings. The Wasatch County General Plan outlines principles, goals and benefits that this Code is meant to enable, encourage, quantify and qualify:
 - i. Sustainability
 - ii. Flood Hazard Avoidance and Mitigation
 - iii. A Learning Center (UVU campus)
 - iv. Economic Development Leading to Prosperity
 - v. A Sense of Place
 - vi. Dedicated open space
- f. Quality Development - Higher densities and flexible uses are anticipated in the North Village but not at the expense of high quality materials, architecture, landscaping, open space and trails. Architecture and materials must provide a sense of place that is unique to the Heber Valley and maintains the values of the whole area. Architecture should be well thought out and be complimentary as a gateway to the valley. The streetscape should be of utmost importance and should not be dominated by garages. (See Page 62)

- g. Interconnected streets that create a modified grid system and maintains highway 40 as a limited access high speed facility.
- h. Interconnected pedestrian urban and back country trail systems.
- h. Mixture of uses – Specific Transect Zones are intended to be mixed use and sustainable. Large concentrations of a single use should not be allowed if the “mixed use” aspect of the village is not being realized (see current code in place).

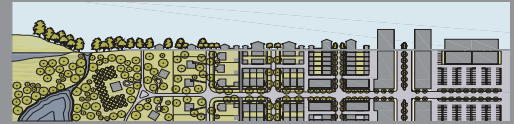
4. ORGANIZATION AND GUIDING PRINCIPLES

- a. The Transect
 - i. The North Village Overlay District and this Code are based upon the organizational principles of the Transect.
Originally developed for use in the natural environment, the Transect is defined as a geographical cross-section that reveals a sequence of environments, from undeveloped, native lands through agricultural uses to neighborhoods and town or village core districts, as an example. When applied to the built environment, the Transect identifies a continuum of the physical environment from the most rural to the most urban, as recognized within the context of the local environment. Within this continuum, the Transect is subdivided into Zones (Transect Zones) defined by their contextual similarities such as density, complexity, and intensity similar to the manner in which the countryside relates to traditional towns and villages.
 - ii. Use of the Transect in planning efforts lends itself to the creation of logical development and conservation areas, and is intended for use by localities to regulate the evolution of a settlement pattern over time. Preliminary Planning integrates environmental and zoning methodologies to create a framework that identifies and defines a continuous range of habitats. Planners and designers can then use the framework to specify rural to urban contexts for development appropriate to their location within the Transect. Based upon each location, distinct building, streetscape, open space and roadway standards are defined or calibrated to preserve and enhance the character of a given place.
 - iii. Transect Zones both exist as a place and evolve over time. As a place, Transect Zones define fixed, identifiable characteristics which, when they are properly applied, guarantee that new or infill development will fit within that place as it occurs. The evolution of separate and distinct places into communities over time is almost imperceptible as villages evolve into towns through a gradual increase in land development density and intensity that occurs naturally over a period of many years. Use of the Transect in Master Planning encourages the making of places that build upon historic character and context of a location as this natural evolution, or succession, occurs.
 - iv. Wasatch County and specifically the North Village is

COMMENTARY

THE TRANSECT

The transect is a tool developed for analyzing and regulating cities and neighborhoods in traditional patterns. The Avenues, SugarHouse, Yalecrest, downtown Provo, and similar historic settlements are patterns ideal for analysis and regulation using the transect. Suburban and exurban patterns of use-segregated development along automobile-centric roadways are not appropriate for analysis and regulation using the transect.



The transect divides urbanized (or to be developed) areas by use intensity while most conventional zoning codes divide by use type categories. The difference may seem subtle but grouping a number of different uses like multi-family residential, office, retail and restaurants into one category is very different from segregating those uses into their own categories. The result of intensity-based grouping is a high degree of market flexibility and adaptability, where the use of a building may change over time, but it will always remain compatible with the adjacent buildings.

By arranging these transect-based, or intensity-based, categories into towns, neighborhoods, and urban centers, intrinsically walkable places result where residents do not need to rely upon cars to get around. By including a full-range of transect categories, a wide variety of choice is provided to people for where and how they want to live, work, and recreate.

This Transect plan provides this wide variety of conditions through the use of the transect as well as different characters of community units which are similarly grouped by intensity. Villages are less intense than Towns, which are less intense than Urban Centers. The transect along with community units provides choice for both developers reacting to market conditions, and residents in their choice of where to live.

comprised of a rural to urban context that includes natural areas, rural agricultural areas, suburban neighborhoods, and commercial corridors; each with identifiable characteristics. A Preliminary Planning effort was conducted for the North Village Overlay District in 2002 in support of the County's General Plan. A "Master Plan" was developed as part of that effort, and identifies a series of Transect Zones that transition from low to high density. A goal of pedestrian-friendly, mixed-use oriented Urbanism within certain neighborhoods and village core areas, and the preservation of rural areas, was expressed in the Master Plan and guided the arrangement of the Transect Zones, thoroughfares and civic spaces. As development is accomplished according to the Master Plan and this Code over time these goals will be realized.

- v. The North Village Overlay District Transect Zones, as defined in this Code, are generally sequential in intensity and density, manifesting a range of responses to natural, rural, and urbanized conditions. The specific design of each component as it occurs should be appropriate to its Transect Zone:

- T1 (NR)– Neighborhood Rural (2 ERUs per net acre)
- T2 (NE) - Neighborhood Edge (2 ERUs per net acre)
- T3 (NG) – Neighborhood General (3 ERUs per net acre)
- T4 (NC) – Neighborhood Center (4 ERUs per net acre)
- T5 (TC) – Town Core (6 ERUs per net acre)
- T6 (VC) – Village Center (6 ERUs per net acre)

Transect Zone NR and NE (the least urban) emphasize the relationship to adjacent natural open space by prioritizing the natural environment. Transect Zones NG, NC, TC and VC prioritize the built environment.

- b. Transect Zones: Purpose and Intent

Four zones were added to the North Village General Plan Element (of July 23, 2001): Town Core (TC), Neighborhood Center (NC), Neighborhood General (NG), and Neighborhood Edge (NE). Two additional zones were added to the North Village Master Plan in July 2007: Village Center (VC) and Neighborhood Rural (NR).

- i. Transect Zones

- 1. T1 – Neighborhood Rural (NR)
 - a. The Neighborhood Rural Transect Zone is the most rural (village like) reflecting its adjacency to natural open space
 - b. A single-use area characterized by low-density residential and rural units, including (but not limited to) medium sized and large single family houses, and small agricultural properties.
- 2. T2 - Neighborhood Edge (NE)
 - a. The Neighborhood Edge Transect Zone can be more rural (village like) or more urban (town like) depending upon its context.
 - b. Primarily single-family area characterized by low-density residential and rural units, including (but not limited to) small, medium, and large single family houses, and small agricultural properties.
- 3. T3 - Neighborhood General (NG)
 - a. The Neighborhood General Transect Zone is mixed in function, but principally residential. It has generalized character and is usually the largest area of the neighborhood
 - b. A low-intensity primarily single-use area characterized mainly by residential development while potentially allowing for some home businesses. Dwelling units could include twin homes, small and large single family houses. Open

space in the form of greens or playgrounds are common.

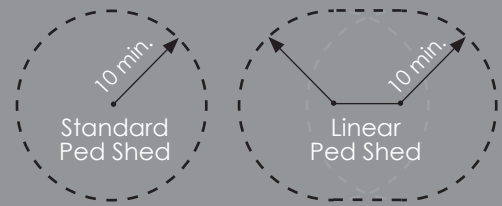
4. T4 - Neighborhood Center (NC)
 - a. The Neighborhood Center Transect Zone is the dense multi-functional section of a neighborhood. It is usually centrally located within walking distance of the surrounding predominantly residential areas.
 - b. A moderate intensity area potentially composed of single use and some mixed-use areas characterized mainly by residential units with home businesses, corner shops, and/or a small amount of retail and office uses. Dwelling units could include townhouses, and small single family houses. Open space in the form of greens or playgrounds is common. T4 should be located within pedestrian sheds.
5. T5 - Town Core (TC)
 - a. The Town Core Transect Zone is the business, service, and institutional center shared by neighborhoods. It straddles thoroughfares at active intersections. These Core areas are the seams between neighborhoods and within walking distance of a large residential area.
 - b. A high intensity mixed-use area potentially characterized by both mid- to high-density residential units adjacent to townhouses. T5 may also include retail shops and professional offices adjacent to major nodes. Open space in the form of plazas, greens, and playgrounds are common. T5 shall be located within pedestrian sheds, along major thoroughfares and/or adjacent to a main civic space.
6. T6 – Village Center (VC)
 - a. The Village Center Transect Zone provides locations for increased commercial intensity. Village Centers are located at proposed major intersections of U.S. 40. These centers provide clustered hubs for increased commercial activity and community gathering spaces. The Village Center is intended to have the most intensity and activity for the area
 - b. A mixed-use area characterized by high intensity commercial development. T6 may include retail shops, professional offices, and research and development adjacent to major nodes. Open space in the form of urban plazas, squares, and greens are common. T6 should be located within pedestrian sheds, along major arterials and/or adjacent to a main civic space.

COMMENTARY

PEDESTRIAN SHED (Ped Shed)

A tool which assists in determining the walkability of community units.

Traditionally pedestrian sheds define the area of a neighborhood within a 10 minute walk from services at the neighborhood's center, like a church, school, post office, or neighborhood market.



Pedestrian shed size is determined by the intensity of the destinations at its center. Intense centers have a stronger pedestrian draw than do low intensity centers. Pedestrian sheds are therefore sized according to the potential intensity of the destinations at their centers, which is a result of the overall development intensity of the community unit. Traditional neighborhoods have a 10-minute pedestrian shed.

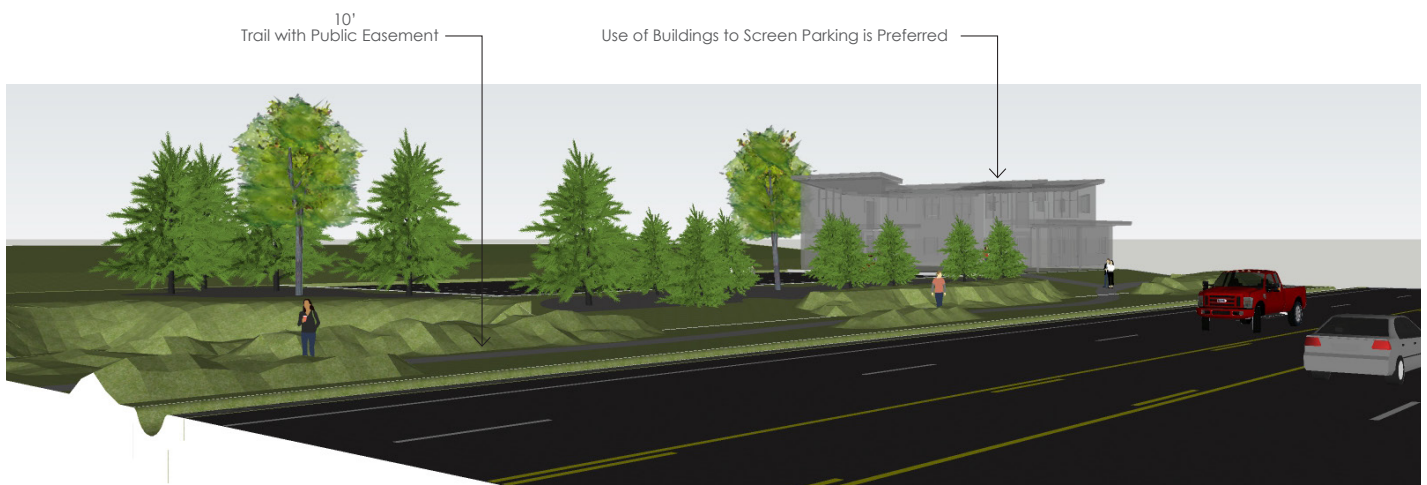
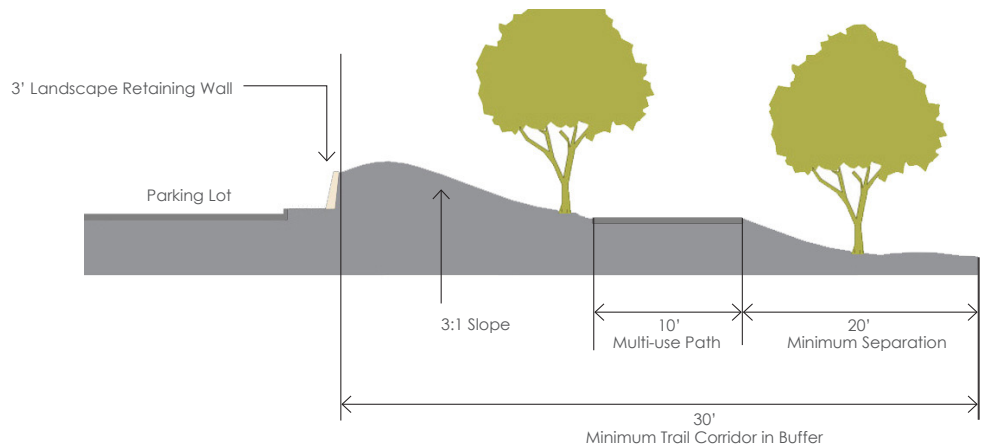
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Wasatch County, Utah

ii. Transitions, Edges, Buffers, and Connections

1. Standards

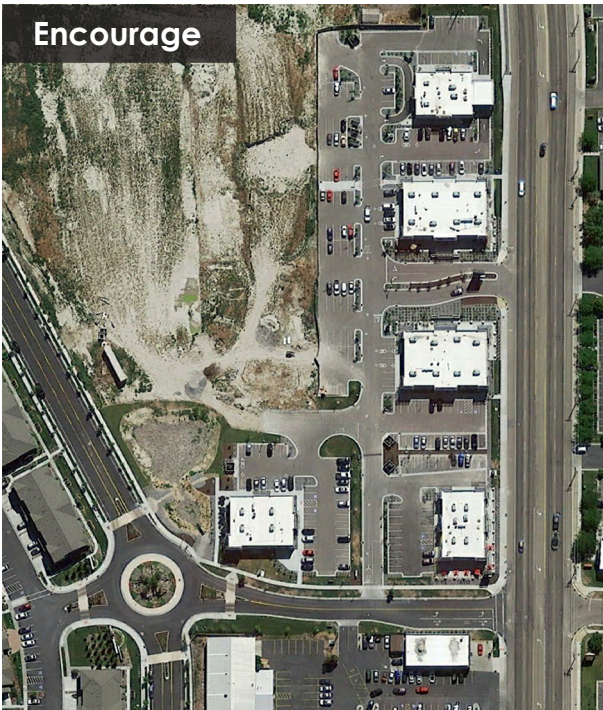
- a. All development along State Highways must be screened from traffic with a 50 foot landscape buffer which includes mounding and an asphalt 10' multi-use path.
- b. Along all roadways, parking lots, loading docks, service bays, and gas pumps must be 80% screened from traffic with mounding and/or 4 -season vegetative screening.
- c. This buffer must be designed to reflect the North Village Overlay District aesthetic theme and have a minimum depth of 50' with no hard surface except for the path.
- d. Storm drain detention areas may encroach within the required 50' cross section of the State Highway buffer, but shall not replace or eliminate the required mounding and multi-purpose trail. The minimum width for mounding and the multi-use path is 30 feet. If incorporated into the buffer detention areas must be designed as an enhancement to the landscaping and not an engineered looking eyesore that doesn't fit with the intent of the Code.
- e. Parking lots may encroach within the required 50' cross section of the State Highway buffer, but shall not replace or eliminate the required mounding and multi-purpose trail. The minimum width for mounding and the multi-use path is 30 feet. If incorporated into the buffer parking lots must be visually shielded behind a landscape wall and berm (see diagram below). The berm must be landscaped to create a minimum 80% screen of the parking lot.
- f. Garbage dumpsters may not be placed within the 50' buffer.



NVOD CODE

Wasatch County, Utah

- c. The Community: Purpose and Intent
 - i. Neighborhoods should be compact, and pedestrian-oriented.
 - ii. Ordinary activities of daily living should occur within walking distance of most dwellings within the T6, T5, T4, and T3 transect zones, allowing independence to those who do not drive. This does not mean, however, that T2 and T1 transect zones should not have pedestrian connections to more intense transect zones.
 - iii. Interconnected networks of thoroughfares should be designed to disperse traffic and reduce the length of automobile trips. Grid networks of streets are required in areas where the average slope of existing terrain is less than 6 percent.
 - iv. In areas of steeper terrain, where the average existing terrain exceeds 8 percent slope, cul-de-sacs are permitted on a limited basis where a true hardship exists in order to reduce earthwork volumes. In all instances cul-de-sacs must be accompanied by alternate public pedestrian routes with a minimum width of 8 feet within a 20 foot easement at the end of the circle to provide off-street pedestrian connectivity that is compromised because of the lack in connecting streets in steeper areas.
 - v. Within Neighborhoods, a range of housing types and price levels should be provided to accommodate diverse ages, stages, and incomes.
 - vi. Retail centers should be focused around major intersections with good pedestrian connectivity to adjacent land uses.
 - vii. Retail development along Highway 40 may be linear, multi-tenant development (predominantly comprised of in-line stores or restaurants) and should have a functional connection or relationship to adjacent land uses. Retail buildings should be placed adjacent to the street with parking located behind the buildings.



Encouraged: Buildings linear to the street. Divided parking for each building with parking off the street.

Avoid: Long areas of building front with no setbacks and away from the road. Large areas of shared parking.

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

- viii. Commercial office development should be embedded in the T6 Village Center and T5 Town Core transect zones.
- ix. A range of Open Space including Parks, Squares, Plaza, and playgrounds should be distributed within Neighborhoods and the Town Center.
- x. Buildings and landscaping should contribute to the physical definition of thoroughfares along the public frontage by creating an attractive public realm with the streetscape being framed by attractive buildings. (refer Exhibit 2 on pages 41-43)
- xi. Development should provide an efficient pedestrian and automobile circulation system that reinforces the spatial form of public areas.
- xii. Design of streets and buildings should reinforce safe environments, but not at the expense of accessibility.
- xiii. Architecture and landscape design should grow from local climate, topography, history, local materials and building practice.
- xiv. Buildings should provide their inhabitants with a clear sense of geography and climate through energy efficient methods.
- xv. Preservation and renewal of historic buildings should be facilitated to affirm the continuity and evolution of society.
- xvi. Building types and uses should not detract from each other but be complimentary. Commercial, including retail, office, research and development buildings should be complimentary with adjacent residential structures and have common elements of materials.

5. APPLICABILITY

- a. The North Village Overlay District Code replaces the North Village Overlay District Ordinance Title 16.16 for Wasatch County within the boundaries of the overlay district. The Wasatch County Subdivision Ordinance, and its associated standards, processes and requirements, will still govern where this Code is silent. Items that are addressed in Title 16, but not addressed in the NVOD will be regulated by Title 16. The following locally adopted ordinances are incorporated within the Code in their entirety:
 - i. Title 14 road standards
 - ii. Title 16 parking standards (dissimilar uses and shared parking plans can be reviewed subject to Title 16.33.12)
 - iii. Title 16 affordable housing requirements
 - iv. Title 16 access and subdivision requirements
- b. The regulations set by this Code within each Transect Zone shall apply uniformly to each class or kind of structure, or land, except as hereinafter provided. No building, structure, or land shall hereafter be used or occupied, except as allowed within the ordinances related to Non-Conforming Uses and no building or structure or part thereof shall hereafter be erected, constructed, reconstructed, moved or structurally altered nor any development commenced except in conformity with all applicable regulations in the North Village Overlay District Code.

NVOD CODE

Wasatch County, Utah

6. WASATCH COUNTY ZONING MAP

- a. The Transect Zones are established as shown on the Wasatch County master plan map for the North Village, which is on file in the Planning Office of Wasatch County, Utah and part of this Code. The Master Plan map is the official map for the North Village Overlay District. The Master Plan Map and all notations, references, and other information shown thereon shall be and hereby are made a part of this Code by reference as fully as though set forth herein in detail.
- b. Amendments and changes to the Master Plan Map shall follow the requirements outlined in Title 16.
- c. The County Council of Wasatch County may, from time to time, order the revision of the Master Plan Map so as to include all changes to date and take the place of the original map which is a part of this Code. No change shall be made upon such revised map that has not been approved by the County Council.
- d. Regardless of the existence of purported copies of the "Official Master Plan Map, Wasatch County, Utah" which may, from time to time, be made or published, the Official Master Plan Map in the Planning Department Office and part of this Code shall be the final authority for Transect Zones in the North Village Overlay District.

7. PROCESS

The following establishes the submission process and requirements for development of parcels of the subject property controlled by the Master Developer or Sub-Developer in order to produce a comprehensive approach for master development of all parcels of the subject property. This approach allows the applicant, whether the master developer or a sub-developer, to:

- a. Master Plan and Development Feasibility: Initiate a plan that establishes the location of proposed intensities and demonstrates project feasibility by including a constraints analysis, a soils report, water and sewer report, a primary circulation plan, proposed street sections, a traffic study, an open space plan, trail plan, and architectural precedent images for style, form, material and color. The Master Plan will also allocate densities entitled under the Master Development Agreement and the Sub-Developer Agreements. Revisions on previously approved master plans would re-open the plan and would require that it meet all current requirements of the code as well as a recalculation of ERUs.
- b. Overall preliminary Plan: further refine the plan by demonstrating the location of proposed building types, internal streets, and utilities within a Master Planned area. The preliminary plan will also include grading and drainage plans and additional architectural theming for structures, fixtures, and site elements.
- c. Final Plat: obtain final plat approval by providing full engineering improvement drawings (Including Block, Final Landscape, Grading and Drainage, and Irrigation Plans) as required in Title 16.27.10 Large Scale Development Regulations.
- d. Site Development Plans: provide detailed site plans for multi-family, attached residential and non-residential areas within a Master Plan.
- e. Building Permit: Initiate construction in an orderly manner

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

North Village Overlay District Code, consistent with the criteria established in the North Village General Plan Element of July 23, 2001 and Title 16 of the County Zoning Regulations, refers to 4 levels of plans: Master Plans, Preliminary Plans, Subdivision Plat (Preliminary and Final), and Building Permit.

- a. Architect/Consultant Review and Design Compliance Evaluation
 - i. All parcels within the subject property are subject to this Code.
 - ii. Wasatch County Planning Staff and an Architect/Consultant or an appointed Design Review Board/Committee shall review all required submissions for the entitlement and development process, and will make decisions by referring to the Master Design Guidelines and Code. The Architect/Consultant/Board/Committee and Staff may recommend the rejection of any design element including street sections, building types, architectural materials or building elevations at their own discretion in accordance with the Master Design Guidelines as interpreted by the directive of the North Village Overlay District Code.
 - iii. The Architect/Consultant/Board/Committee and Staff shall review and make a recommendation to the Planning Commission for all respective Master Plans, Preliminary Plans, and Site Development Plans if done concurrently with a Final Plat by the Sub-Developer before submission to Wasatch County for consideration and approval.
 - iv. The Architect/Consultant/Board/Committee and Staff will meet on an as-need basis with the developer
 - v. The Architect/Consultant/Board/Committee will be approved in accordance with the procurement guidelines in Wasatch County Code 3.05.06.
- b. Master Plan and Development Feasibility: Purpose and Intent
 - i. Master Plans establish the conceptual location of uses and intensities within transect zones, the location and configuration of primary roadways, special districts, and overlay districts
- c. Master Plan and Development Feasibility: Submittal Regulations
 - i. A Master Plan submitted for approval must demonstrate compliance with:
 1. Transect zone standards
 2. Transportation network standards
 3. Architectural theme standards
 4. Open space requirement and trails
 - ii. Master Plans are prepared by the landowner, their agents or designee, in consultation with the Planning Department, and all affected municipal entities
 - iii. Master Plans shall be prepared by a team that includes a licensed landscape architect and a civil engineer. Design teams may also include an attorney and architect, if appropriate
 - iv. The County Council has administrative approval authority over Master Plans, after review and recommendation from Staff, the appointed Architect/Consultant/Board/Committee for design compliance, and the Planning Commission
 - v. Master Plans must be prepared in a manner consistent with the governing North Village Overlay District Code
 - vi. To the extent the provisions of the Master Plan conflict with the provisions of any other portion of Title 16 of the County Code, the provisions of this Code shall take precedence, except as to Local Health and Safety Codes and Local, State, and National Building Codes

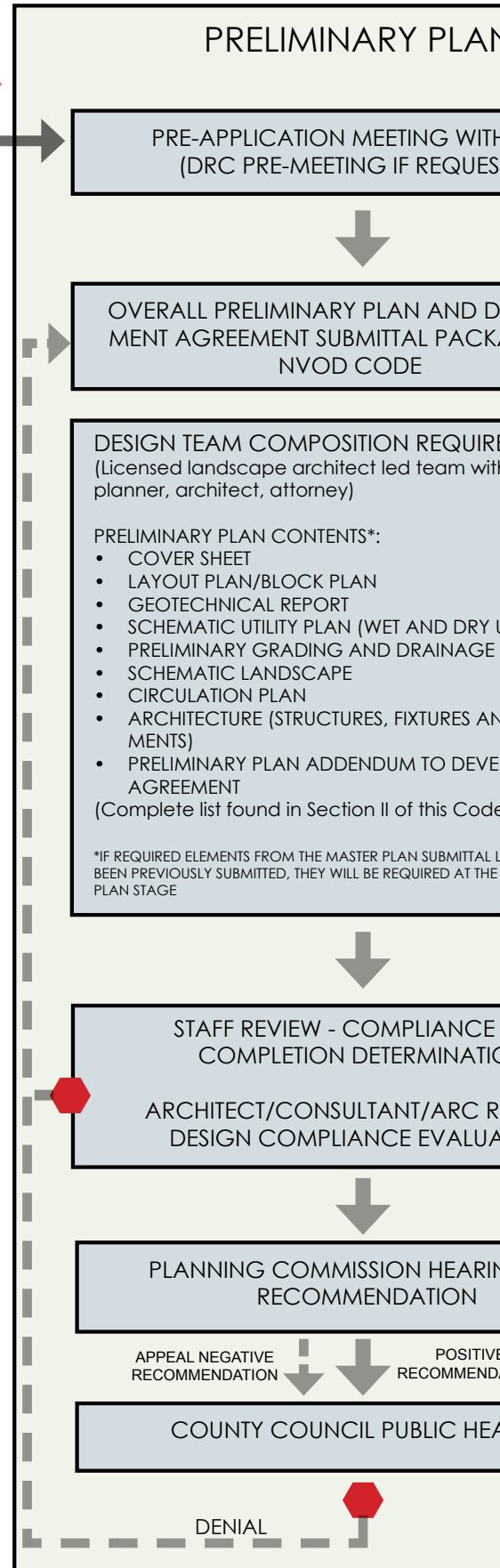
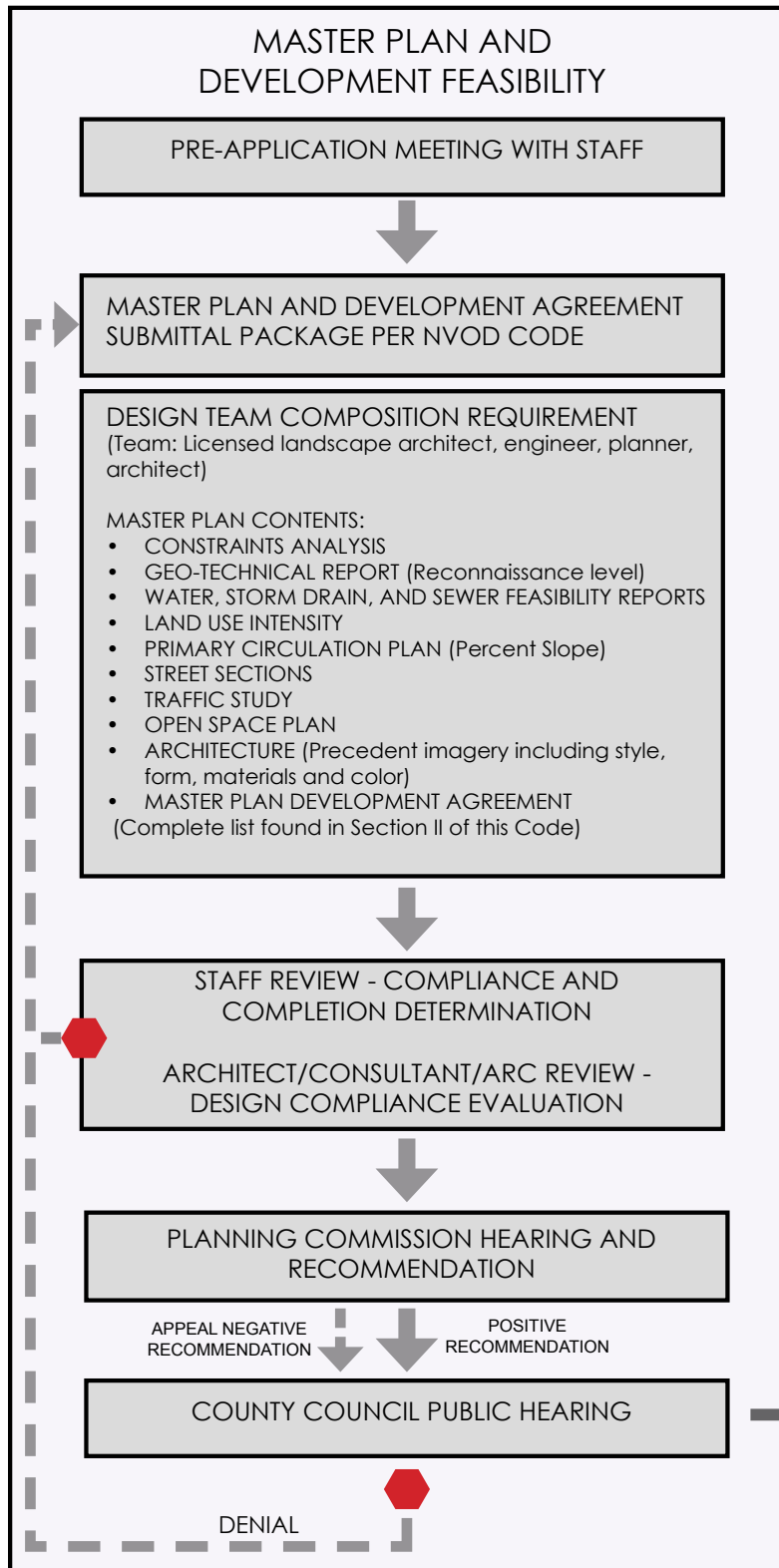
- d. Preliminary Plan: Purpose and Intent
 - i. Preliminary Plans establish the land uses and product types, minor roads, streetscapes, pedestrian access, open space, and civic special districts within Transect Zones
- e. Preliminary Plan: Regulations
 - i. A Preliminary Plan submitted for approval must demonstrate compliance with:
 - 1. Transect zone standards
 - 2. Transportation network standards
 - 3. Architectural theme standards
 - 4. Open space requirements and trails
 - ii. Preliminary Plans are prepared by the landowner and/or their agents or designee, in consultation with the Planning Department
 - iii. Preliminary Plans shall be prepared by a team that includes a licensed landscape architect and a civil engineer. Design teams may also include an attorney and architect, if appropriate
 - iv. The County Council has administrative approval authority over Preliminary Plans, after review and recommendation from Staff, the appointed Architect/Consultant/Board/Committee for design compliance, and the Planning Commission public hearing
 - v. Preliminary Plans must be prepared in a manner consistent with a governing Master Plan and include all property in the Master Plan unless modified by Wasatch County Planning and Engineering Departments
 - vi. Addenda to the Master Development Agreement must be approved with a Preliminary Plan
- f. Final Plats: Purpose and Intent
 - i. Final Plats pertain to individual lots and establish building placement, form, materials, site work, common area and private landscaping and elements, and other elements required for permitting.
- g. Final Plats: Regulations
 - i. Final Plats must comply with all SSD sewer, water, storm drain, roads and other engineering requirements. This Chapter does not supersede IBC,IFC, and/or any other life safety regulations, adherence to which is required for approval and permitting
 - ii. Final Plats are prepared by the landowner, agents, or designees
 - iii. Final Plats shall be prepared by a team that includes a licensed landscape architect and a civil engineer. Design teams may also include an attorney and architect, if appropriate
 - iv. The Planning Commission approves Final Plats.
 - v. Each Final Plat must be consistent with the approved Preliminary Plan and Master Plan
 - vi. Final Plats are regulated by the Master Development Agreement and may be regulated by a final development agreement.
 - vii. The Preliminary Plan must be approved before the Final Plat
- h. Site Development Plans: Purpose and Intent
 - i. Site Development Plans pertain to multi-family/attached housing residential sites and non-residential uses and establish building placement and form, architectural styles and materials, site work, common area and private landscaping and elements, and other elements required for permitting
- i. Site Development Plans: Regulations
 - i. This Chapter does not supersede IBC,IFC, and/or any other life safety regulations, adherence to which is required for approval and permitting

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

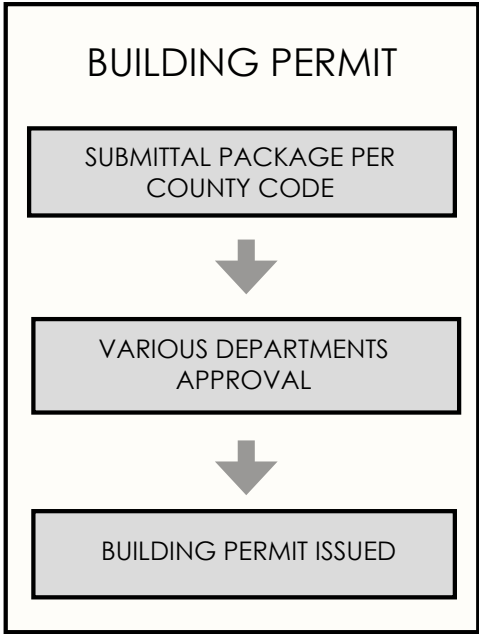
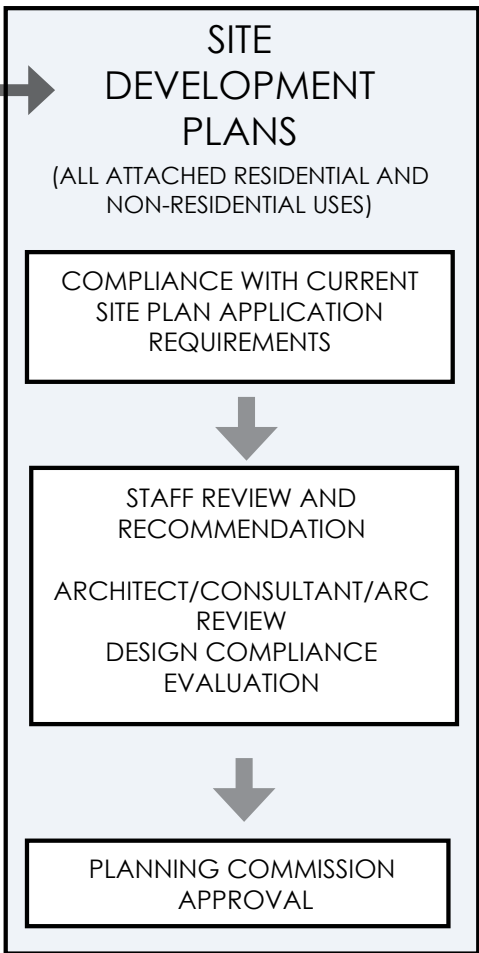
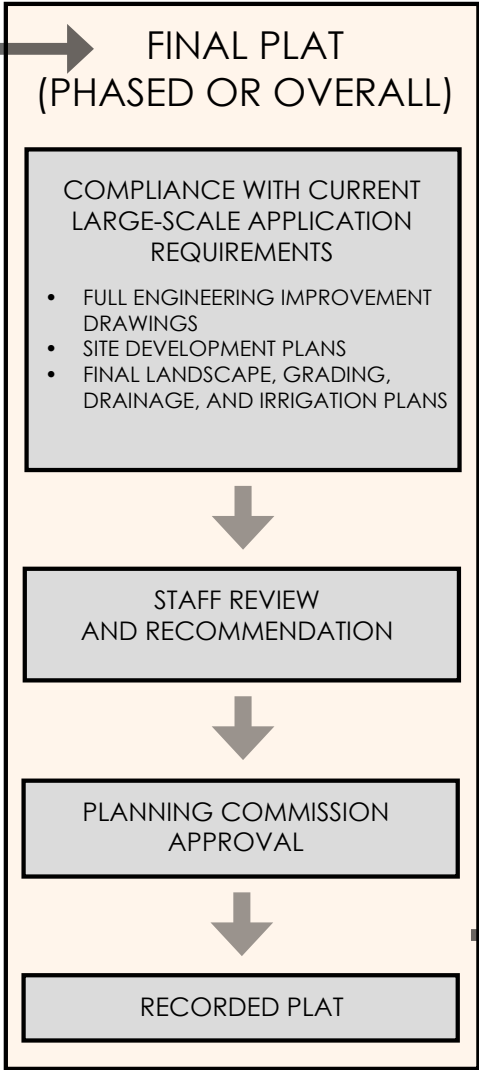
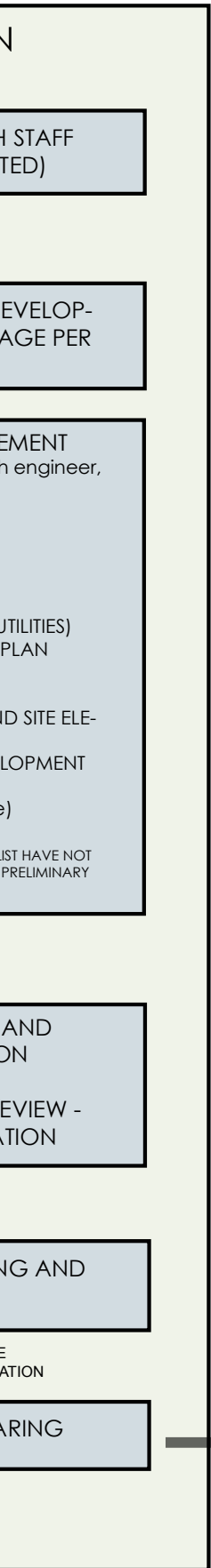
- ii. Site Development Plans are prepared by the landowner, agents, or designees
- iii. Site Development Plans shall be prepared by a team that includes a licensed landscape architect, architect, and civil engineer.
- iv. Planning Commission has approval authority for Site Development Plans
- v. Site Development Plans must be consistent with the approved Preliminary Plan, Master Plan, Final Plat, and development agreements
- vi. Site Development Plans may be regulated by a final development agreement.
- vii. Multiple Site Development Plans within a Master Planned are can be submitted simultaneously and run through the approval process concurrently.
- viii. Site Development Plans must be approved before issuing a Building Permit.

DRC REVIEW AND PROCESS DETERMINATION



NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah



* Final Plat & Site Development Plans can be done concurrently.

* Master Plan Development Feasibility and Preliminary Plan can be done concurrently for projects that contain fewer than 50 units (not ERUs). If done concurrently all required elements for both submittals must be provided at the same time.

SECTION II – STANDARDS AND SUBMISSION REQUIREMENTS

1. MASTER PLAN AND DEVELOPMENT FEASIBILITY

- a. Master Plan and Development Feasibility Submission Requirements
 - i. A Master Plan submittal must include the following exhibits: IDENTIFICATION OF A QUALIFIED DESIGN TEAM INCLUDING A LANDSCAPE ARCHITECT/ARCHITECT AND ENGINEER.
 1. Exhibit 1: Cover Sheet that includes the following:
 - a. Legal Description, including a legal description of the property
 - b. North Village Overlay District Code, indicating the transect zone subject to this Master Plan.
 - c. Preliminary Title Report and Boundary Map, including:
 - i. Name and ownership of the property or properties,
 - ii. Acreage of the property or properties,
 - iii. Boundary of the property or properties with dimensions,
 - iv. Existing land use of all properties within 500 feet of the place type boundaries.
 2. Exhibit 2: Constraints Map, including:
 - a. Existing topography with a contour interval of two feet (2')
 - b. Net developable acreage calculation and map. This is the total land area of the property or properties less any area currently designated as flood plain, wetlands, water bodies, alluvial fan, debris flow, slopes in excess of 30% and other sensitive lands. If future action is to be taken to modify or mitigate these constraints, this map should be updated to reflect any changes.
 - c. Viewshed analysis/massing study illustrating existing and proposed view from selected vantage points as defined in Title 16.
 3. Exhibit 3: Preliminary Geo-Technical Report, including:
 - a. This Geo-technical report should be a reconnaissance level study of the general soils conditions within the Master Planned area
 4. Exhibit 4: Water and Sewer Feasibility letter from the SSD and water action report by the water board
 5. Exhibit 5: Storm Drain Plan
 - a. Drainage plans as per "A Guide For Erosion And Sediment Control For Wasatch County", appendix E, see chapter 16.40, "Appendix 5, Storm Drainage And Erosion Control, Site Development", of this title. The drainage plan shall include; a site description, Development plan, Drainage assessment, Stormwater, and a Pollution prevention plan.
 6. Exhibit 6 Land Use Intensity Plan, including:
 - a. An annotated map identifying boundaries for the various proposed uses within the Transect Zones, community level open space features, and primary streets.
 - b. A data table including the gross acreage of the Transect Zone, the gross acres of developable land by land use type, the gross acres of open space, and total acreage assigned to streets.
 - c. Density expressed in ERUs based upon the net developable acreage in compliance with each Transect Zone
 7. Exhibit 7: Primary Circulation Plan, including:

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

- a. A key showing the street network of the governing North Village Overlay District Smart Code and the transportation master plan.
- b. Existing, new, and modified streets.
- c. New and modified intersections, identifying the type.
- d. Existing, new, and relocated major utility easements.
- e. Road grade in percent slope.
8. Exhibit 8: Street Cross Sections, including:
 - a. Street section assemblies for new and modified existing streets within the Master Planned area.
9. Exhibit 9: Traffic Study, including:
 - a. Street system within the applicable community unit
 - b. Adjacent streets outside of community unit,
 - c. Connecting streets to other community units (if applicable)
 - d. Compliance with second access requirements for the project.
10. Exhibit 10: Open Space Plan, including:
 - a. Intended use of community wide open spaces types,
 - b. Conformance with the regional open space and master trails plan,
 - c. Neighborhood open space network,
 - d. Neighborhood trail network,
 - e. Ownership and maintenance responsibility for all spaces within the main civic space.
 - f. Open space percentages by transect.
 - g. Snow Storage Plan
11. Exhibit 11: Architectural Standards, including:
 - a. Precedent imagery/sketches of proposed style, form, material, and color for all proposed product types; demonstrating compliance with the North Village Overlay District Architectural Theme established in this Code.
11. Fiscal Impact Analysis
12. Master Plan Development Agreement using the County provided development agreement
- ii. All exhibits must include:
 1. North arrow, graphic scale, and date.
- iii. All documents must be submitted digitally in portable document format (PDF) and hard copy format, including both a submission booklet at 8.5" x 11" (three [3] copies) and any large-scale exhibits at 24" x 36" (three [3] copies).
- iv. Application forms and fees must be submitted according to the Wasatch County Fee Schedule.
- b. Master Plan and Development Feasibility Standards
 - i. Civic District Standards
 1. Land designated as civic district is reserved for public open space and civic supportive uses that are consistent with the purpose of the civic space.
 2. A Master Plan must assign civic districts in the amount required by Transect Zone in the open space section of this Code.
 3. A designation of civic open space (CS) may be applied to any civic district, restricting its use to those civic space types specified in the open space section of this Code, and associated structures. Civic open space must be publicly

NVOD CODE

Wasatch County, Utah

- accessible.
- 4. Open space amenities that are owned by a Community Association will be maintained by the Community Association.
- 5. A Master Plan may designate civic districts reserved for school sites and other buildings of civic importance, to be used as civic open space temporarily. Temporary open space will not be counted as part of the permanent open space requirement.
- 6. A designation of civic building (CB) may be applied to any civic district, or portion thereof, less than 2 acres in area, restricting its use to those civic building types specified in the open space section of the Master Plan.
- ii. Phasing Standards
 - 1. A Master Plan must include a phasing plan indicating the anticipated sequential order and areas where development will occur.
 - 2. Phase numbers must be indicated in the phasing plan, along with the anticipated starting date of Phase 1.
 - 3. Open space must be included in adjacent phases and logically planned.
- iii. Density Calculations
 - 1. Density shall be calculated in terms of Equivalent Residential Units (ERUs) as specified in Table 1. The referenced table provide the maximum allowable densities. The buildable Density or Intensity on any particular site will be affected by other regulations in this Code and, thus, the stated maximums of this Code may exceed the actual capacity that a site can sustain when other regulations of this Code are applied to the site. The inability to reach the maximum Density or intensity because of the necessity to conform to the other regulations of this Code shall not constitute hardship for purposes of a Variance.
- iv. Open Space Standards
 - 1. Open space proposed in a Master Plan must comply with the open space types prescribed in Table 2 of this Code and meet the minimum required percentages by Transect Zone.
- v. Sign Standards

TABLE 1 - AREA OPEN SPACE REQUIREMENTS BY TRANSECT

	T1	T2	T3	T4	T5	T6
	Neighborhood Rural	Neighborhood Edge	Neighborhood General	Neighborhood Center	Town Core	Village Center
Required Open Space as a Percentage of the Total Site Area	40%	30%	20%*	10%*	10%*	10%*

% - Open Space requirements must be met with Required, Permitted, or approved Conditional typologies as prescribed in Table 2 of this Code. Additional areas of the site may be required to meet landscape and buffer requirements. Percentages shall be based on gross square footage of the site.

* - Open space percentages shall not include sensitive areas or undevelopable natural open space.

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

TABLE 2 - AREA OPEN SPACE TYPES BY TRANSECT

Open Space Typology or Form	T1	T2	T3	T4	T5	T6
	Neighborhood Rural	Neighborhood Edge	Neighborhood General	Neighborhood Center	Town Core	Village Center
Plaza				P	P*	P*
Square			C	P	P*	P*
Courtyard			P	P*	P	P
Green	P	P	P	C	C	C
Pocket Park	P	P*	P*	P*	P, C*	C*
Park	P	P*	P*	P*	C	C
Community Garden	P	P	P	C	C	C
Special Use	P	P	P	C	C	C
Paseo	C	C	C	P	P	P
Multi-Use Path	P	P	P*	R	R	R
Trail	R	R	P*	C		
Stream Channel /Canal	P	P	C	C	C	C
Natural Open Space	P	P,C	C	C	C	C
Sensitive Areas	P	C	C	C	C	C

P - A permitted form of Open Space that can be counted toward the required open space percentage for the site. P* indicates that one of these elements must be used to meet part of the total requirement.

C - Conditional Open Space form or typology that may be counted toward the required open space percentage based on site specific context and utilization within the plan. County staff approval is required to qualify for inclusion. C* indicates an element that may be used to meet the total requirement in place of the P* depending upon the area's contextual land use.

R - Required

Note: Trails and multi-use paths must connect to the county wide trail system governed by Title 16.

2. PRELIMINARY PLAN

a. Preliminary Plan Submission Requirements

i. A Preliminary Plan submittal must include the following exhibits: IDENTIFICATION OF THE QUALIFIED DESIGN TEAM

1. Exhibit 1: Cover Sheet that includes the following:

- a. Legal Description, including a legal description of the property
- b. North Village Overlay District Code, indicating the transect zone subject to this Master Plan.
- c. Preliminary Title Report and Boundary Map, including:
 - i. Name and ownership of the property or properties,
 - ii. Acreage of the property or properties,
 - iii. Boundary of the property or properties with dimensions,
 - iv. Existing land use of all properties within 500 feet of the place type boundaries.

2. Exhibit 2: Layout and Block Plan, including:
 - a. Existing and proposed lot lines, easements, street rights of way, proposed dedicated public use areas, trail systems, and commercial or mixed use areas.
 - b. Tabulation of projected ERUs, as described in the Preliminary Plan, number of housing units by type and square footage, parking stalls provided, building square footage, building footprint square footage, open space acreage and percentage, landscape acreage and percentage, hard surface acreage and percentage, and net developable acreage and percentage.
3. Exhibit 3: Schematic Utility Plan, including:
 - a. General location of wet and dry utility runs and easements,
 - b. General location of transformers and other above ground utilities,
 - c. General location of street lights,
 - d. General location of fire hydrants,
 - e. Easements required for snow storage in alleys.
4. Exhibit 4: Preliminary Grading and Drainage Plan, including:
 - a. Preliminary Grading plans illustrating cut and fill limits and limit of disturbance including topographic lines
 - b. Drainage plans as per "A Guide For Erosion And Sediment Control For Wasatch County", appendix E, see Chapter 16.40,"Appendix 5, Storm Drainage And Erosion Control, Site Development of Title 16.27.10.
 - c. The drainage plan should show estimate of volume and proposed plan to retain, detain, and pass historical flow to the North Village Master Drainage System, and include the following:
 - i. Site Description
 - ii. Development Plan
 - iii. Drainage Assessment
 - iv. Stormwater
 - v. Pollution Prevention Plan
 - vi. Snow Storage Plan
5. Exhibit 5: Geotechnical / Soils Report
6. Exhibit 6: Open Space and Schematic Landscape and Irrigation Plan, including:
 - a. Intended use of all open spaces,
 - b. Conceptual open space plans indicating schematic hardscape and landscape materials for parks, plazas, walkways, trails, etc.
 - c. Ownership and maintenance responsibility.
 - d. Open space calculation by transect zone.
7. Exhibit 7: Circulation Plan, including:
 - a. Proposed layout of all public and private streets including plan, profiles, and cross sections.
 - b. Cross sections must include the travel way and public frontage types on both sides of the street.
 - c. Proposed trails including percent slope.
8. Exhibit 8: Architecture, including:
 - a. Precedent imagery (schematic level) for all proposed building types and product types demonstrating compliance with NVOD architectural theme
 - b. Imagery of proposed fixtures and site furniture (street lights, street furniture, common elements)
9. Addenda to Master Plan Development Agreement Specific to Preliminary Plan:
 - ii All graphic/mapped exhibits must include (not applicable to text and tables):
 - iii North arrow, and graphic scale.
 - iv Existing land use of all properties within 500 feet of the Master Plan boundaries.

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

- v. All documents must be submitted digitally in portable document format (PDF) and hard copy format, including both a submission booklet at 11" x 17" (three [3] copies) and each exhibit at 24" x 36" (three [3] copies).
 - vi. Application forms and fees must be submitted according to the Wasatch County Fee Schedule.
 - vii. A plan identifying the funding, construction, phasing, and timing for all civic open spaces within the Preliminary Plan boundary must be submitted with the Preliminary Plan application.
- b. Easement Standards
- i. A Preliminary Plan must include a utility plan.
 - ii. County standards apply for all other locations.
 - iii. Existing and proposed easements for walkways, trails, proposed dedications of public use areas; existing and proposed curb, gutter and sidewalk (public and private)
- c. Civic District Standards
- i. Land designated civic district is reserved for public open space and civic supportive uses that are consistent with the purpose of the civic space..
 - ii. A Preliminary Plan must assign civic districts
 - iii. The percentage of civic districts is calculated as the sum of the gross lot area for each civic district divided by the total acreage of the transect zone.
 - iv. A designation of civic open space (CS) may be applied to any civic district, restricting its use to those civic open space types specified in the North Village Overlay District Code, and associated structures. Civic open space must be publicly accessible.
 - v. Open space amenities that are owned by a Community Association will be maintained by the Community Association.
 - vi. A Preliminary Plan may designate civic districts reserved for buildings of civic importance, to be used as civic open space temporarily.
 - vii. A designation of civic building (CB) may be applied to any civic district, or portion thereof, less than 2 acres in area, restricting its use to those civic building types specified in the North Village Overlay District Code.
- d. Structural Heights
- i. The height requirements for the North Village Overlay Zone are prescribed in Tables 4A-4F Transect Zones: Building Form in Section III of this Code.
- e. Site Coverage and Lot Size Standards
- i. Preliminary Plans shall adhere to those standards established for each Neighborhood Condition In Tables 4A-4F
 - iii. In the NR Zone, there is no maximum single family lot size
 - iv. A minimum required range of lot areas shall be established as a percentage for lots within any block as defined in Tables 4A-4F of this Code.
 - v. All lots shall front a street as defined in Title 16.
- f. Setbacks
- i. Lot setbacks are prescribed in Tables 4A-4F Transect Zones: Building Form in Section III of this Code
 - ii. Zero Lot-Line Product
 - 1. Zero lot-line residential products must comply with IRC (International Residential Code). All non-residential buildings shall comply with IBC (International Building Code).
- g. Phasing Standards
- i. Preliminary Plans must include a phasing plan indicating the size and location of sub-phases. The order in which sub-phases are developed will be determined by infrastructure and market.
 - ii. Phase boundaries must occur along rear lot lines and perpendicular to thoroughfare trajectories.
- h. Building Use Standards
- i. Density
 - 1. Density is calculated in terms of equivalent residential units (ERUs).

NVOD CODE

Wasatch County, Utah

TABLE 3 - LAND USES: NORTH VILLAGE OVERLAY ZONE (REFER TO LAND USE MAP)

	T-1	T-2	T-3	T-4	T-5	T-6
	(NR)	(NE)	(NG)	(NC)	(TC)	(VC)
ACCESSORY						
Building, unoccupied	P	P	P	P	P	P
AGRICULTURE						
Farming/Ranching	C	N	N	N	N	N
CHILD CARE						
6 Children or less	P	P	P	P	P	P
7 to 12 Children	C	C	C	C	C	P
EDUCATIONAL/RELIGIOUS						
Permanent Church	P	P	P	P	P	P
Temporary Church	C	C	C	C	P	P
Private School	C	P	P	P	P	P
EQUIPMENT SHELTER						
Storage rentals	N	N	N	N	N	N
COMMERCIAL: OFFICE/BUSINESS						
Home Occupation	P	P	P	P	P	P
Artisanal Space (Minor Manufacturing)	N	N	N	N	C	P
Radio Station (less than 10,000 SF)	N	N	N	N	C	C
Business Services	N	N	C	P	P	P
Drive-up Service: Bank	N	N	C	C	C	C
Professional Offices (less than 20,000 SF)	N	N	P	P	P	P
COMMERCIAL: RETAIL/LEISURE						
Big Box (more than 28,000 SF)	N	N	N	N	N	N
Shops: Grocery and Retail (less than 28,000 SF)	N	N	C	P	P	P
Neighborhood Store (less than 3,000 SF)	N	N	C	P	P	P
Neighborhood Shops (less than 12,000 SF)	N	N	N	P	P	P
Dining: Restaurants	N	N	C	P	P	P
Dining: Fast Food	N	N	N	C	C	P
Gas Station	N	N	N	C	C	C
Cinema: 1-4 screens	N	N	N	C	C	P
P - Permitted	C - Conditional Use			N - Not Allowed		

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

TABLE 3 - LAND USES: NORTH VILLAGE OVERLAY ZONE (REFER TO LAND USE MAP) CONTINUED

	T-1	T-2	T-3	T-4	T-5	T-6
	(NR)	(NE)	(NG)	(NC)	(TC)	(VC)
MUNICIPAL/CIVIC/PUBLIC SERVICE						
Animal Shelter	N	N	N	N	N	N
Cemetery	N	N	N	N	N	N
Recreational Facility	C	C	C	P	P	P
Public Safety Facility	P	P	P	P	C	C
Public School	P	P	P	P	P	P
Public Meeting	C	C	C	P	P	P
Utility	C	C	C	C	C	C
PUBLIC SPACE						
Recreation Park	P	P	P	P	P	P
Passive: (Green I Square)	P	P	P	P	P	P
RESIDENTIAL						
Apartment	N	N	N	N	N	N
Single Family Detached	P	P	P	P	C	N
Attached (Townhouse)	N	N	P	P	P	C
Condominiums (less than 15 units)	N	N	P	P	P	C
Condominiums (greater than 15 units)	N	N	C	P	P	C
Assisted Living	C	C	P	P	P	P
Elderly	P	P	P	P	P	P
Lodging	N	N	C	P	P	P
Group Home	N	C	C	C	P	P
TELECOMMUNICATIONS						
Small Wireless Facilities	C	C	C	C	C	C
Facility	C	C	C	C	C	C
Antennae	C	C	C	C	C	C
P - Permitted	C - Conditional Use			N - Not Allowed		

- ii. Uses within the Preliminary Plan are governed by Table 3
 - i. Preliminary Plan Architectural Standards
 - i. Preliminary Plans must contain prototypical architectural elevations for residential and non-residential buildings.
 - ii. All prototypical architectural details must be consistent with the architectural theme established in the North Village Overlay District Code. This should be schematic and demonstrate the developer understands the theme and expectations for the North Village. Colors and materials should be submitted at Final Plat.
 - iii. Architectural information in the Preliminary Plan must include:
 - 1. Massing
 - 2. Roof pitch
 - 3. Window and door treatment
 - 4. Porch and entry treatment
 - 5. Color palette
 - 6. Material palette
 - 7. Compliance with architectural checklist (refer to pages 66, 70, 75)
 - j. Density Transfer Standards
 - i. Maximum density is regulated by the transect zone.
 - ii. Densities shall not exceed the maximums established by transect zone for each Master Plan on page 25.
 - iii. Unrealized ERU's are transferable without limitation within the same Master Plan, so long as the maximum ERU's established by transect type are not exceeded.
 - iv. Transect Map boundaries can be modified up to 100 feet upon review and approval from the County Planning Staff and approved by the County Council after a recommendation by the Planning Commission.
 - k. Minor Modification Standards
 - i. Modifications to the Plans which do not constitute material modifications may be made without the consent of the County Council. The decision of whether a modification to the Plans is "material" shall be made by the County's Planning Director (with input from the County Engineer). In the event of a dispute between Developer and County as to whether a proposed modification is "material," no modification shall be made without express County approval which may include County Council. Modifications may be approved by County staff if such proposed modifications are consistent with the County's then applicable rules and regulations for projects in the zone where the Property is located and are otherwise consistent with the standards for approval set forth herein.
3. Final Application Requirements:
- a. The final plans must first evidence how the final plans conform to the master plan and preliminary plans and any conditions for preliminary approval and such plans must also include the following:
 - i. Out-of-Pocket Account is to be maintained during the final approval stage as it was during the Preliminary stage of the project.
 - ii. Submit a complete application for Final Large Scale Development and pay the application fee.
 - iii. One (1) copy of D-size sheets (24"x36").
 - iv. One (1) copy of 11"x17".
 - v. Provide a CD containing 'pdf' files of entire application / all documents;

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

- vi. One (1) copy electronic file: DWG, DXF File format in either State Plane Central Zone NAD 27 or 83 or UTM NAD 27 or 83 (in feet or meters) coordinate system. The electronic file must also include the following:
 1. All pages of the plat;
 2. Site plan;
 3. Landscape plan;
 4. Elevation contours (two (2) feet);
 5. Engineering drawings;
- vii. Development name and address;
- viii. North point, scale (not smaller than 1" = 100'), date;
- ix. Development phase number, if a phased project;
- x. Names, addresses, and telephone numbers of developer, engineer (Including license number), and current owners;
- xi. Nearest section corner tie, township(s), and range(s);
- xii. Lot lines, dimensions and area; adjacent lots and phases;
- xiii. Existing and proposed easements, walkways, trails, proposed dedications of public use areas; existing and proposed curb, gutter and sidewalk (public and private);
- xiv. Existing waterways (including irrigation and piping);
- xv. Topography (contours at two (2) foot intervals) and site drainage plan which illustrate existing and proposed conditions;
- xvi. Final drainage plan (3 copies), illustrating methods of controlling runoff, directing water flow, and detention / retention areas;
- xvii. Limits of disturbance plan, as required by the County Development Code (see Section 16.28.07);
- xviii. Existing vegetation to remain on development and natural features of the land;
- xix. Sensitive lands including, but not limited to slopes over thirty (30) percent, flood hazard boundary, wetlands, high water table areas and geologic hazards;
- xx. Geotechnical Analysis as required by this Title;
- xxi. UDOT approval for access to state roads; approval of Army Corps of Engineers in wetlands or high water table areas; approvals of power, gas, telephone and cable companies where easements are proposed and service is required;
- xxii. Final grading plans illustrating cut and fill limits and limits of disturbance;
- xxiii. Temporary construction erosion control plan;
- xxiv. Identify where excavation material will be stored or disposed of.
- xxv. Existing and proposed utilities including, fire hydrants, water and sewer lines.
- xxvi. Location and elevation drawings of existing and proposed buildings, signs, dumpster and utility enclosures, fences and other structures including materials and colors;
- xxvii. Landscaping plan and overall estimate including irrigation system and plant species with sizes and quantities;
- xxviii. Fencing Plan
- xxix. Parking, access, and loading plan;
- xxx. Lighting plan;
- xxxi. Signage plans shall comply with Wasatch County Sign Regulations (The applicant shall utilize appropriate traffic signs, markers, and procedures in all construction activities as defined in the Federal Manual of Uniform Traffic Control Devices;
- xxxii. Architectural plans (floor plans, elevation, with materials);

- xxxiii. Tabulation of ERUs, as defined by the Plan, number of housing units by type and square footage, with the number of bedrooms, parking stalls provided, building square footage, building footprint square footage, open space acreage and percentage, landscape acreage and percentage, hard surface acreage and percentage;
- xxxiv. Special Service District approval letter;
 - a. Please note that review by the applicable Special Service District will require the setup of an out of pocket account with the SSD separate from any required by the planning department.
- xxxv. Mitigating measures (to conform with Wasatch County Development Code and design standards as found in this document), and any other information as required by the County as a condition of approval;
- xxxvi. Cross-section for each type of streetscape in each transect zone in the plan.
- xxxvii. Using transect specific checklists in the code, demonstrate compliance with the landscape options and provide landscape details.
- xxxviii. Any additional information required by the Planning Staff or Planning Commission.

The following official documents prepared in a manner that will fully present information required as part of this Title on forms:

- i. Articles of Incorporation and Bylaws of the Association;
- ii. Declaration of covenants, conditions, restrictions, and management policies;
- iii. Maintenance agreement between the developers, Property Owners Association, SSD, and/or the county, providing for the establishment of an impound account as a means of assuring proper maintenance of the development;
- iv. Development agreement on a form provided by the County.
- v. Open space agreement acceptable to the County;
- vi. Affordable housing agreement approved by County;
- vii. Itemized estimates of the cost of constructing all required improvements to be constructed in the development. The developer shall also submit a report to the Planning Commission pertaining to the source or sources of the construction funds;
- viii. A statement from the State Health Department, through the County Health Department, granting engineering approval of the development pertaining to water and sewer facilities if not publicly owned;
- ix. Vicinity Map on the Plat;
- x. Fiscal analysis on a form provided by the County

4. Final Plat Requirements:

- a. Development Agreement Draft
- b. Final site plan
 - a) i. Two (2) copies of plans; submitted on 24"x36" dimension as well as electronically in PDF format.
 - ii. One (1) complete 11"x17" reduced set of entire application/all documents.
 - iii. One (1) copy electronic file: DWG, DXF, file format in either State Plane Central Zone NAD 27 or 83 or UTM NAD 27 or 83 (in feet of meters) coordinate system. The electronic file must also include the following:
 - iv. All pages of the plat;
 - v. Site plan;
 - vi. Landscape plan;

- vii. Elevation contours at 2 foot intervals;
 - viii. Engineering drawings.
 - c. Each shall show a minimum of the following:
 - i. Site Layout Plans
 - ii. Overall Development in conformance with the approved master plan and preliminary
 - iii. Building Massing and Locations for the parcel - (Calculation of ERUs by square footage and number of units)
 - iv. Pedestrian linkages – Hardscape Plan (scale 1"=40')
 - v. Public Spaces (scale 1"=40') - Must comply with previous approvals and transect options and requirements.
 - vi. Landscape (scale 1"=40')
 - vii. Public Areas
 - viii. Roads and Sidewalks
 - ix. Parking Configurations
 - x. Phasing Plan
 - xi. Land Use Regulating Plan
 - a. Retaining walls and locations
 - b. Wall heights from finished grade
 - c. Finishes
 - xii. Site Preservation Areas
 - xiii. Open space
 - xiv. Protected areas
 - d. Mobility Plans
 - i. Vehicular Circulation Plans & Profiles
 - ii. Transit Master Plan (If necessary)
 - 1. Stop locations
 - iii. Pedestrian and non-motorized Circulation Plans and Sections
 - 1. Sidewalks
 - 2. Paths
 - 3. Trails (including back country trails)
 - e. Utility Plans
 - i. Culinary water
 - ii. Waste water
 - iii. Secondary water systems
 - iv. Public services
 - v. Grading & Storm Drainage Plans & Profiles
 - vi. Dry utilities
 - vii. Utility access and screening
 - viii. Hydrants with fire flow and storage
 - ix. Electrical transformer, (power boxes, cable boxes, telephone etc.) shall be located of public views.
 - x. Mechanical units shall be screened from public view and shall have sound attenuated not to exceed 50 dbi.
6. Final Design Guidelines for common Design Elements

NVOD CODE

Wasatch County, Utah

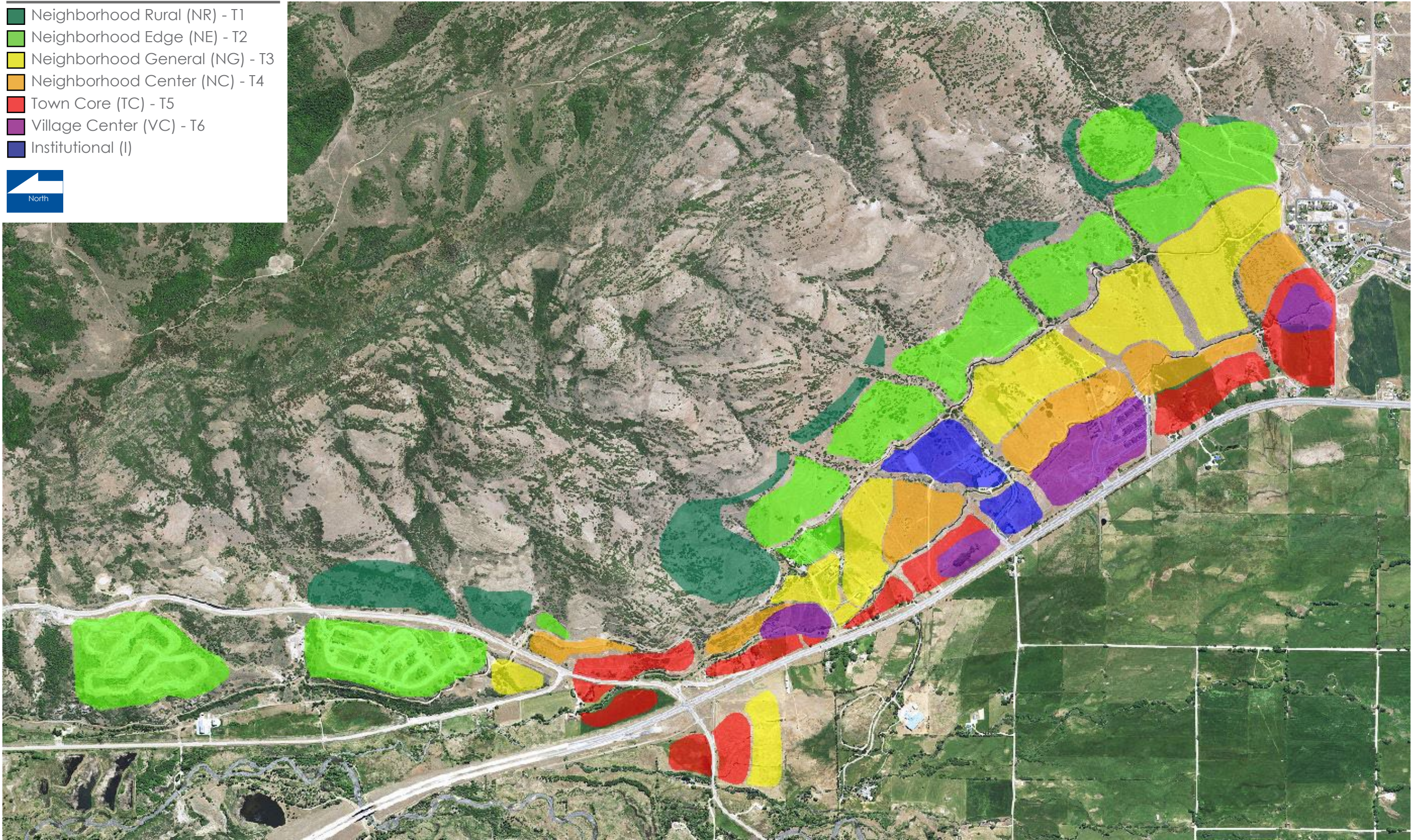
- a. Compliance with all previous approvals for the project
- b. Architecture must meet the approved styles for the transect zones.
- c. Compliance with landscape requirements for the transect including types and numbers of plants.

SECTION III - NORTH VILLAGE OVERLAY DISTRICT

1. TRANSECT MAP

Legend

- Neighborhood Rural (NR) - T1
- Neighborhood Edge (NE) - T2
- Neighborhood General (NG) - T3
- Neighborhood Center (NC) - T4
- Town Core (TC) - T5
- Village Center (VC) - T6
- Institutional (I)



NORTH VILLAGE OVERLAY DISTRICT TRANSECT MAP

NVOD CODE

Wasatch County, Utah

2. DENSITY / ERU ALLOCATION

- a. Introduction
 - i. As per requirements set forth in the North Village General Plan Element of July 23, 2001 and Title 16 of the County Zoning Regulations there is an assignment process that occurs associated with the submittal steps:
 - 1. North Village Overlay District - ERUs are assigned to the entire district by transect zone
 - 2. Master Plan - ERUs are assigned to the neighborhood by transect zone
 - 3. Preliminary Plan - ERUs are assigned to the parcels by land use type
 - 4. Preliminary & Final Plat - ERUs are assigned to individual lots and noted on the plat
- b. Allocation Process
 - i. In the assignment process at the Master Plan level the following steps have been taken:
 - 1. Determination of ERU range based on net acreage and the underlying transect zone requirements,
 - 2. Determination of associative ERU assignments based on transect zone requirements,
 - 3. Assignment of ERU total based on allowable range associated with the assigned place type, net acreage, transportation requirements, and general market demands.
 - ii. Development District ERU Allocation
 - 1. T1 (NR)– Neighborhood Rural (2 ERUs per net acre)
 - 2. T2 (NE) - Neighborhood Edge (2 ERUs per net acre)
 - 3. T3 (NG) – Neighborhood General (3 ERUs per net acre)
 - 4. T4 (NC) – Neighborhood Center (4 ERUs per net acre)
 - 5. T5 (TC) – Town Core (6 ERUs per net acre)
 - 6. T6 (VC) – Village Center (6 ERUs per net acre)

3. TRANSECT ZONE BUILDING FORM TABLES

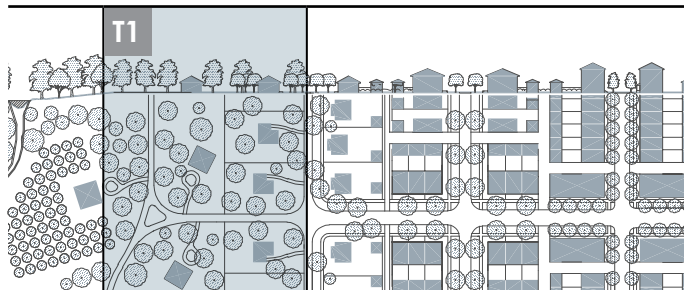
The following building form tables regulate building configuration in terms of number of buildings per lot, building height, lot coverage and impervious surface, lot area, lot frontage, lot depth, proximity of buildings and the placement of garage doors. The tables also regulate the various setbacks for both principle buildings and outbuildings

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

TABLE 4A - TRANSECT STANDARDS

T1 - NEIGHBORHOOD RURAL (NR) BUILDING FORM



BUILDING CONFIGURATION

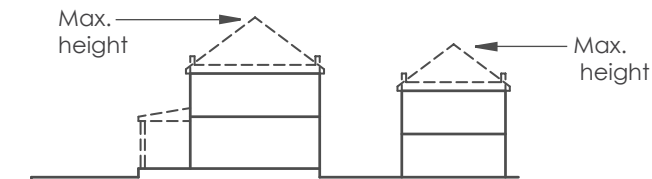
Number of Buildings per Lot	1 + outbuilding (non-residential)
Height - Principal Building	35 ft. max. from natural grade
Height - Outbuilding	20 ft. max. from natural grade
Height - Structured Parking	n/a
Lot Coverage	40% max
Lot Area	15,000 SF min.
Lot Frontage	100 ft. min.*
Lot Depth	n/a
Garage Door Setback	20 ft. min.

SETBACKS - PRINCIPAL BUILDING

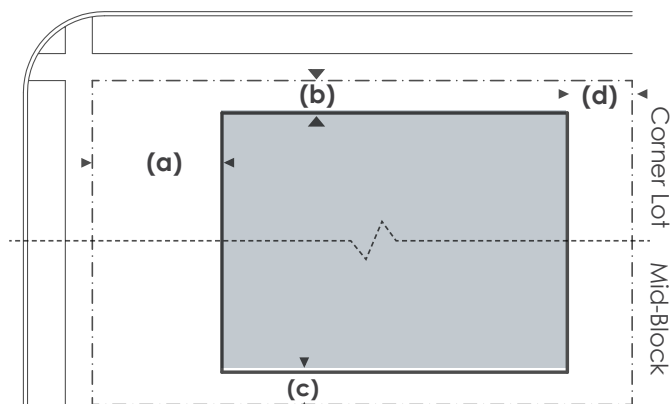
(a) Front Setback Principal	30 ft. min.
(b) Front Setback Secondary	20 ft. min.
(c) Side Setback	10 ft. min.
(d) Rear Setback	30 ft. min.
Frontage Build-out	n/a

SETBACKS - OUTBUILDING

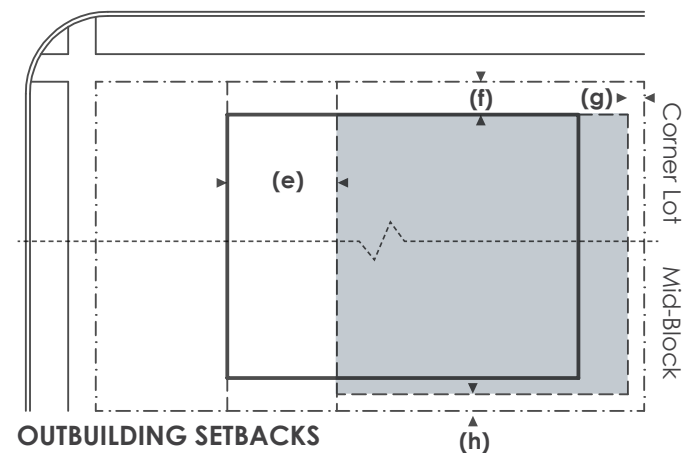
(e) Front Setback	20 ft. min. in addition to the principal building setback
(f) Front Setback Secondary	20 ft. min.
(g) Rear Setback	10 ft. min.
(h) Side Setback	10 ft. min.



BUILDING HEIGHT



PRINCIPAL BUILDING SETBACKS



OUTBUILDING SETBACKS

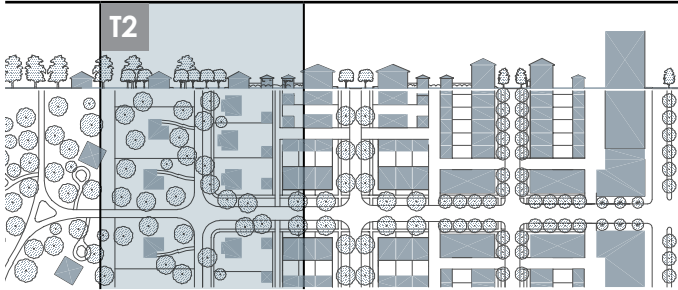
* Lots that front a curvilinear property line (PL) must comply with the lot frontage width measured at the 20 feet offset behind the front PL radius. Cul-de-sac and inside corner lot frontages must comply with the standards specified in Exhibit 4 of this Code.

NVOD CODE

Wasatch County, Utah

TABLE 4B - TRANSECT STANDARDS

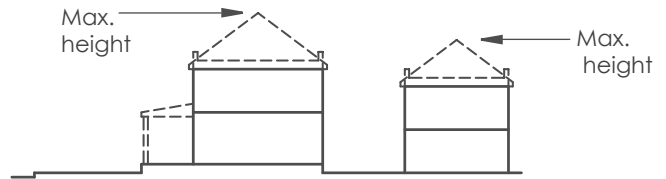
T2 - NEIGHBORHOOD EDGE (NE) BUILDING FORM



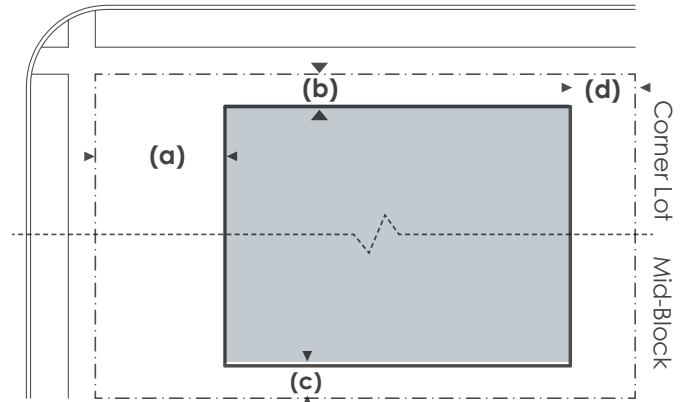
BUILDING CONFIGURATION	
Number of Buildings per Lot	1 + outbuilding (non-residential)
Height - Principal Building	35 ft. max. from natural grade
Height - Outbuilding	20 ft. max. from natural grade
Height - Structured Parking	n/a
Lot Coverage	50% max
Lot Area	10,000 SF min.
Lot Frontage	60 ft. min.*
Lot Depth	85 ft. min.
Garage Door Setback	20 ft. min.

SETBACKS - PRINCIPAL BUILDING	
(a) Front Setback Principal	20 ft. min.
(b) Front Setback Secondary	15 ft. min.
(c) Side Setback	10 ft. min.
(d) Rear Setback	20 ft. min.
Frontage Build-out	n/a

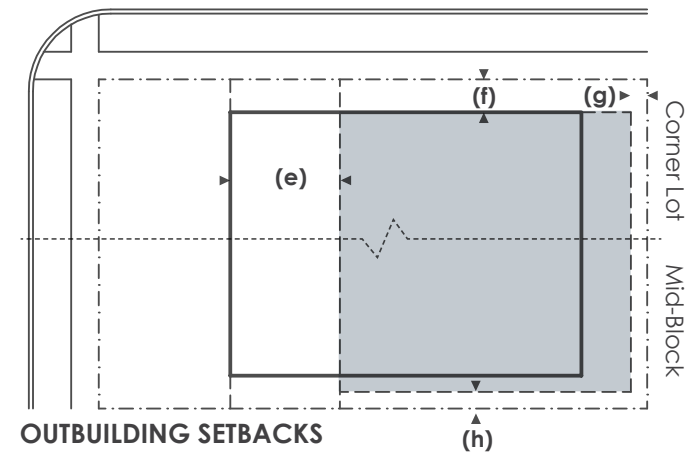
SETBACKS - OUTBUILDING	
(e) Front Setback	20 ft. min. in addition to the principal building setback
(f) Front Setback Secondary	15 ft. min.
(g) Rear Setback	5 ft. min.
(h) Side Setback	3 ft. min.



BUILDING HEIGHT



PRINCIPAL BUILDING SETBACKS

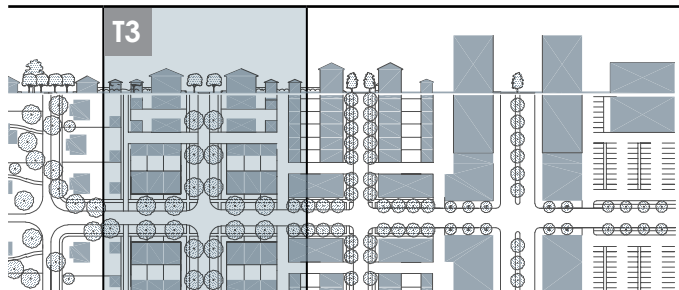


OUTBUILDING SETBACKS

* Lots that front a curvilinear property line (PL) must comply with the lot frontage width measured at the 20 feet offset behind the front PL radius. Cul-de-sac and inside corner lot frontages must comply with the standards specified in Exhibit 4 of this Code.

TABLE 4C - TRANSECT STANDARDS

T3 - NEIGHBORHOOD GENERAL (NG) BUILDING FORM



BUILDING CONFIGURATION

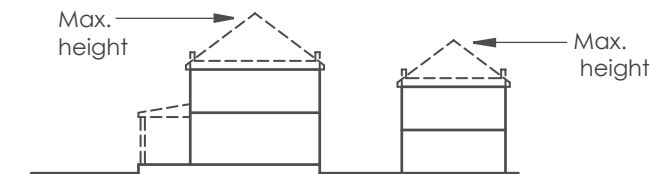
Number of Buildings per Lot	Limited by max. density (page 25)
Height - Principal Building	40 ft. max. from natural grade
Height - Outbuilding	20 ft. max. from natural grade
Height - Structured Parking	n/a
Lot Coverage	55% max
Single Family Detached Residential Lot Area	7,000 SF min.
Single Family Detached Residential Lot Frontage	65 ft. min.*
Single Family Attached Residential Lot Area	2,000 SF min.
Attached Unit Frontage	28 ft. min.**
Proximity	20 ft. min (building to building side for attached unit buildings)
Garage Door Setback	20 ft. min. 3 ft. min from front facade.

SETBACKS - PRINCIPAL BUILDING

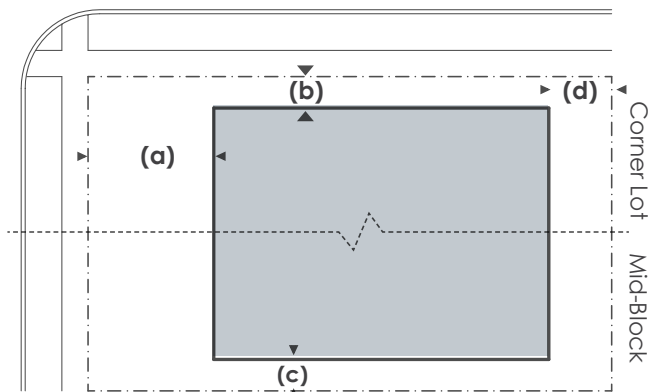
(a) Front Setback Principal	6 ft. min. - 15 ft. max.
(b) Front Setback Secondary	10 ft. min.
(c) Side Setback	3 ft. min.
(d) Rear Setback	15 ft. min.
Frontage Build-out	50% min at setback

SETBACKS - OUTBUILDING

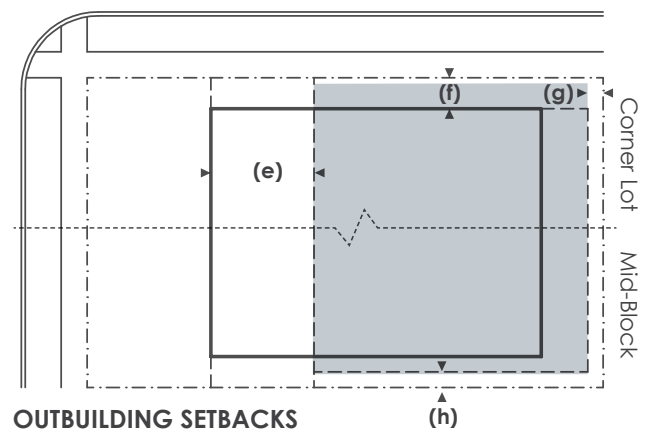
(e) Front Setback	20 ft. min. in addition to the principal building setback
(f) Front Setback Secondary	10 ft. min.
(g) Rear Setback	20 ft. from alley right of way if on alley. 10' from property line if no alley.
(h) Side Setback	3 ft. min.



BUILDING HEIGHT



PRINCIPAL BUILDING SETBACKS



OUTBUILDING SETBACKS

Condominiums and all attached residential units that are less than 24' in width shall be alley-loaded or served by shared driveway, autocourt, or podium parking structure.

* Lots that front a curvilinear property line (PL) must comply with the lot frontage width measured at the 20 feet offset behind the front PL radius. Cul-de-sac and inside corner lot frontages must comply with the standards specified in Exhibit 4 of this Code.

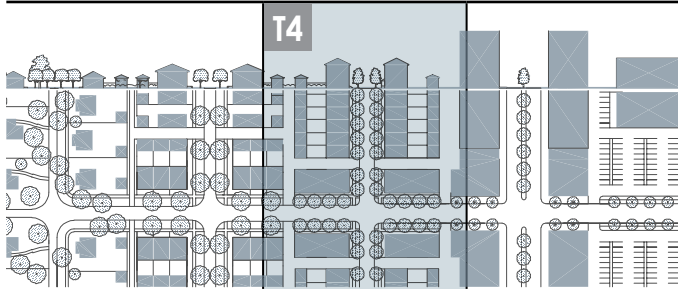
** Attached Unit Frontage refers to the width of individual units, not the width of the entire building.

NVOD CODE

Wasatch County, Utah

TABLE 4D - TRANSECT STANDARDS

T4 - NEIGHBORHOOD CENTER (NC) BUILDING FORM



BUILDING CONFIGURATION

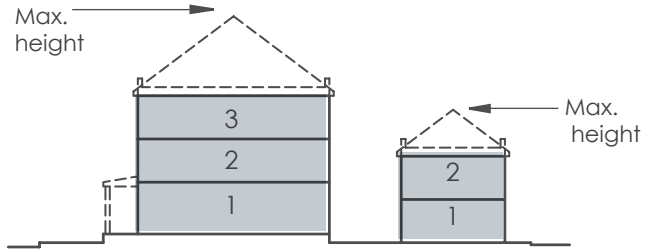
Number of Buildings per Lot	Limited by max. density (page 25)
Height - Principal Building	50 ft. max. from natural grade
Height - Outbuilding	25 ft. max. from natural grade
Height - Structured Parking	24 ft. max.
Lot Coverage	60% max
Single Family Detached Residential Lot Area	7,000 SF min.
Single Family Detached Residential Lot Frontage	65 ft. min.*
Single Family Attached Residential Lot Area	1,680 SF min.
Attached Unit Frontage	24 ft. min.**
Proximity	20 ft. min (building to building side for attached unit buildings)
Garage Door Setback	20 ft. min. 3 ft. min from front facade.

SETBACKS - PRINCIPAL BUILDING

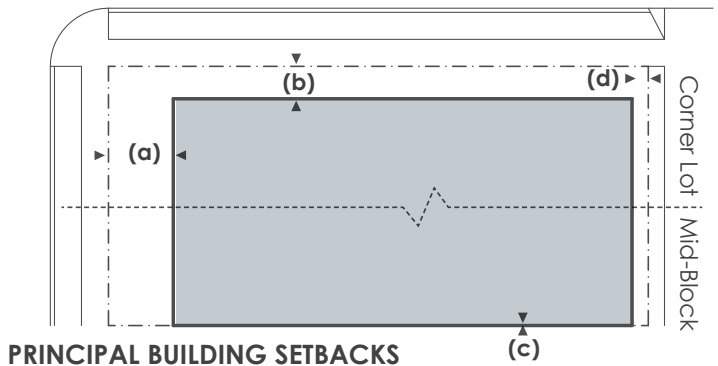
(a) Front Setback Principal	4 ft. min. - 12 ft. max.
(b) Front Setback Secondary	10 ft. min.
(c) Side Setback	0 ft. min. (3 ft for single family detached)
(d) Rear Setback	10 ft. min.
Frontage Build-out	60% min. at setback

SETBACKS - OUTBUILDING

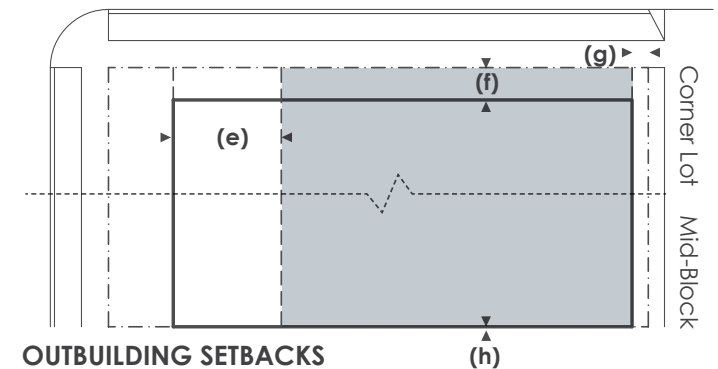
(e) Front Setback	20 ft. min. in addition to the principal building setback
(f) Front Setback Secondary	10 ft. min.
(g) Rear Setback	20 ft. from alley right of way if on alley. 10' from property line if no alley.
(h) Side Setback	3 ft. min.



BUILDING HEIGHT



PRINCIPAL BUILDING SETBACKS



OUTBUILDING SETBACKS

Condominiums and all attached residential units that are less than 24' in width shall be alley-loaded or served by shared driveway, autocourt, or podium parking structure.

* Lots that front a curvilinear property line (PL) must comply with the lot frontage width measured at the 20 feet offset behind the front PL radius. Cul-de-sac and inside corner lot frontages must comply with the standards specified in Exhibit 4 of this Code.

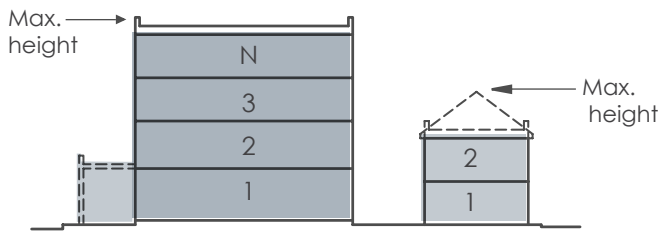
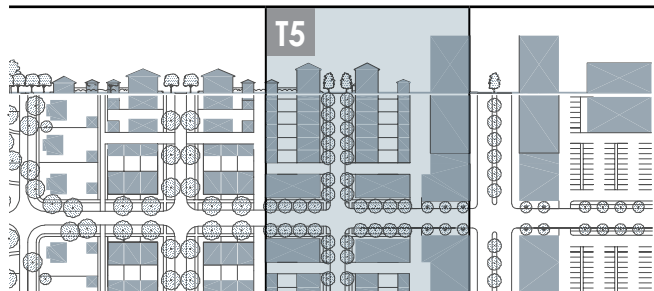
** Attached Unit Frontage refers to the width of individual units, not the width of the entire building.

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

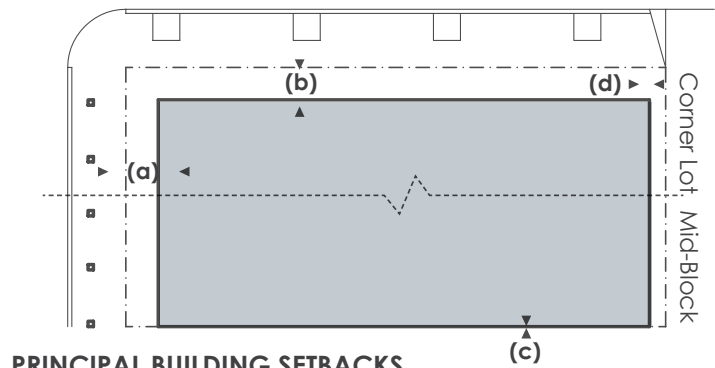
TABLE 4E - TRANSECT STANDARDS

T5 - TOWN CORE (TC) BUILDING FORM

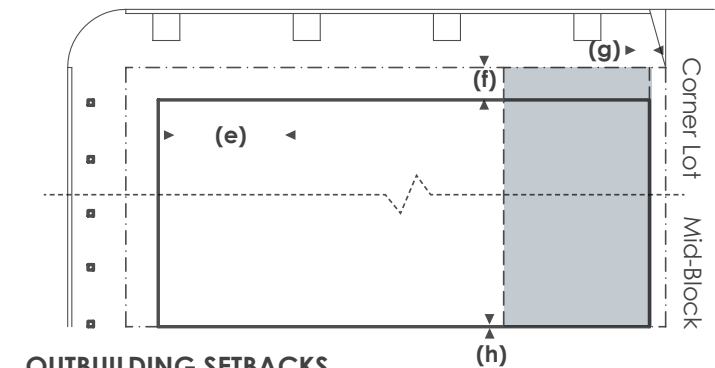


BUILDING HEIGHT

BUILDING CONFIGURATION	
Number of Buildings per Lot	Limited by max. density (page 25)
Height - Principal Building	55 ft. max. from natural grade
Height - Outbuilding	25 ft. max. from natural grade
Height - Structured Parking	40 ft. max. from natural grade
Lot Coverage	70% max
Single Family Detached Residential Lot Area	7,000 SF min.
Single Family Detached Residential Lot Frontage	65 ft. min.*
Single Family Attached Residential Lot Area	1,400 SF min.
Attached Unit Frontage	20 ft. min.**
Proximity	20 ft. min (building to building side for attached unit buildings)
Garage Door Setback	20 ft. min. 3 ft. min from front facade.



PRINCIPAL BUILDING SETBACKS



OUTBUILDING SETBACKS

SETBACKS - PRINCIPAL BUILDING	
(a) Front Setback Principal	3 ft. min. - 10 ft. max.
(b) Front Setback Secondary	3 ft. min.
(c) Side Setback	3 ft. min.
(d) Rear Setback	6 ft. min.
Frontage Build-out	70% min. at setback

SETBACKS - OUTBUILDING	
(e) Front Setback	20 ft. min. in addition to the principal building setback
(f) Front Setback Secondary	8 ft. min.
(g) Rear Setback	20 ft. from alley right of way if on alley. 10' from property line if no alley.
(h) Side Setback	3 ft. min.

Condominiums and all attached residential units that are less than 24' in width shall be alley-loaded or served by shared driveway, autocourt, or podium parking structure.

* Lots that front a curvilinear property line (PL) must comply with the lot frontage width measured at the 20 feet offset behind the front PL radius. Cul-de-sac and inside corner lot frontages must comply with the standards specified in Exhibit 4 of this Code.

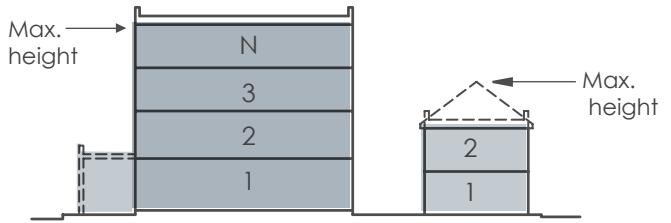
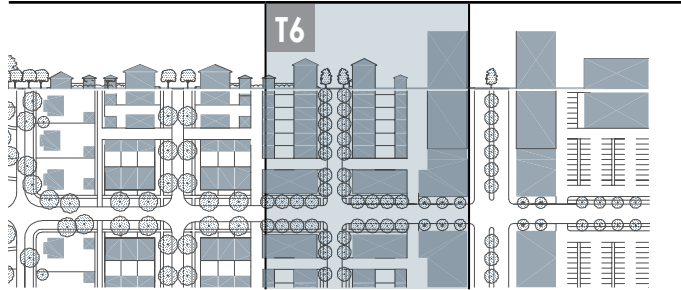
** Attached Unit Frontage refers to the width of individual units, not the width of the entire building.

NVOD CODE

Wasatch County, Utah

TABLE 4F - TRANSECT STANDARDS

T6 - VILLAGE CENTER (VC) BUILDING FORM



BUILDING HEIGHT

BUILDING CONFIGURATION

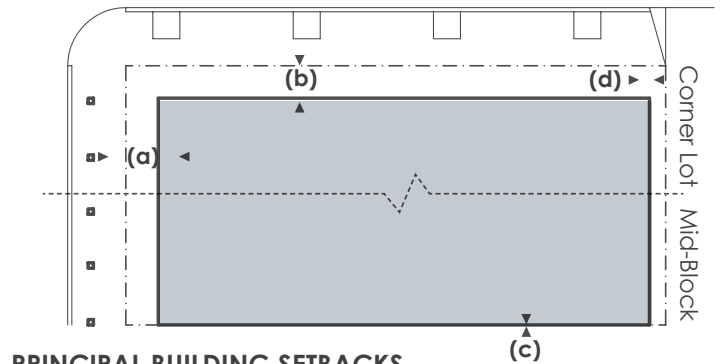
Number of Buildings per Lot	Limited by max. density (page 25)
Height - Principal Building	55 ft. max. from natural grade
Height - Outbuilding	25 ft. max. from natural grade
Height - Structured Parking	40 ft. max. from natural grade
Lot Coverage	70% max
Single Family Attached Residential Lot Area	1,400 SF min.
Attached Unit Frontage	18 ft. min.**
Proximity	20 ft. min (building to building side for attached unit buildings)
Garage Door Setback	20 ft. min. 3 ft. min from front facade.

SETBACKS - PRINCIPAL BUILDING

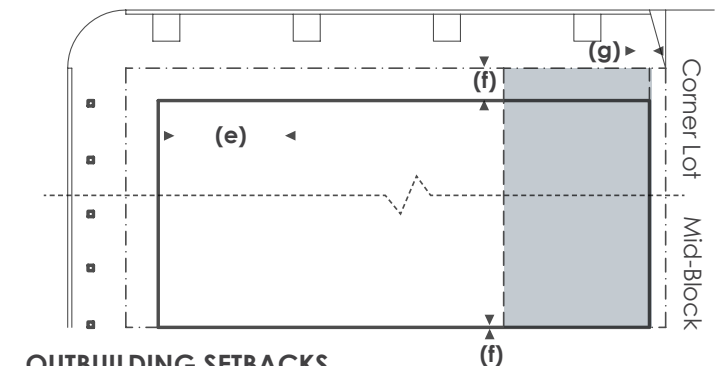
(a) Front Setback Principal	3 ft. min. - 10 ft. max.
(b) Front Setback Secondary	3 ft. min.
(c) Side Setback	3 ft. min.
(d) Rear Setback	6 ft. min.
Frontage Build-out	70% min. at setback

SETBACKS - OUTBUILDING

(e) Front Setback	20 ft. min. in addition to the principal building setback
(f) Front Setback Secondary	8 ft. min.
(g) Rear Setback	20 ft. from alley right of way if on alley. 10' from property line if no alley.
(h) Side Setback	3 ft. min.



PRINCIPAL BUILDING SETBACKS



OUTBUILDING SETBACKS

Condominiums and all attached residential units that are less than 24' in width shall be alley-loaded or served by shared driveway, autocourt, or podium parking structure.

* Lots that front a curvilinear property line (PL) must comply with the lot frontage width measured at the 20 feet offset behind the front PL radius. Cul-de-sac and inside corner lot frontages must comply with the standards specified in Exhibit 4 of this Code.

** Attached Unit Frontage refers to the width of individual units, not the width of the entire building.

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

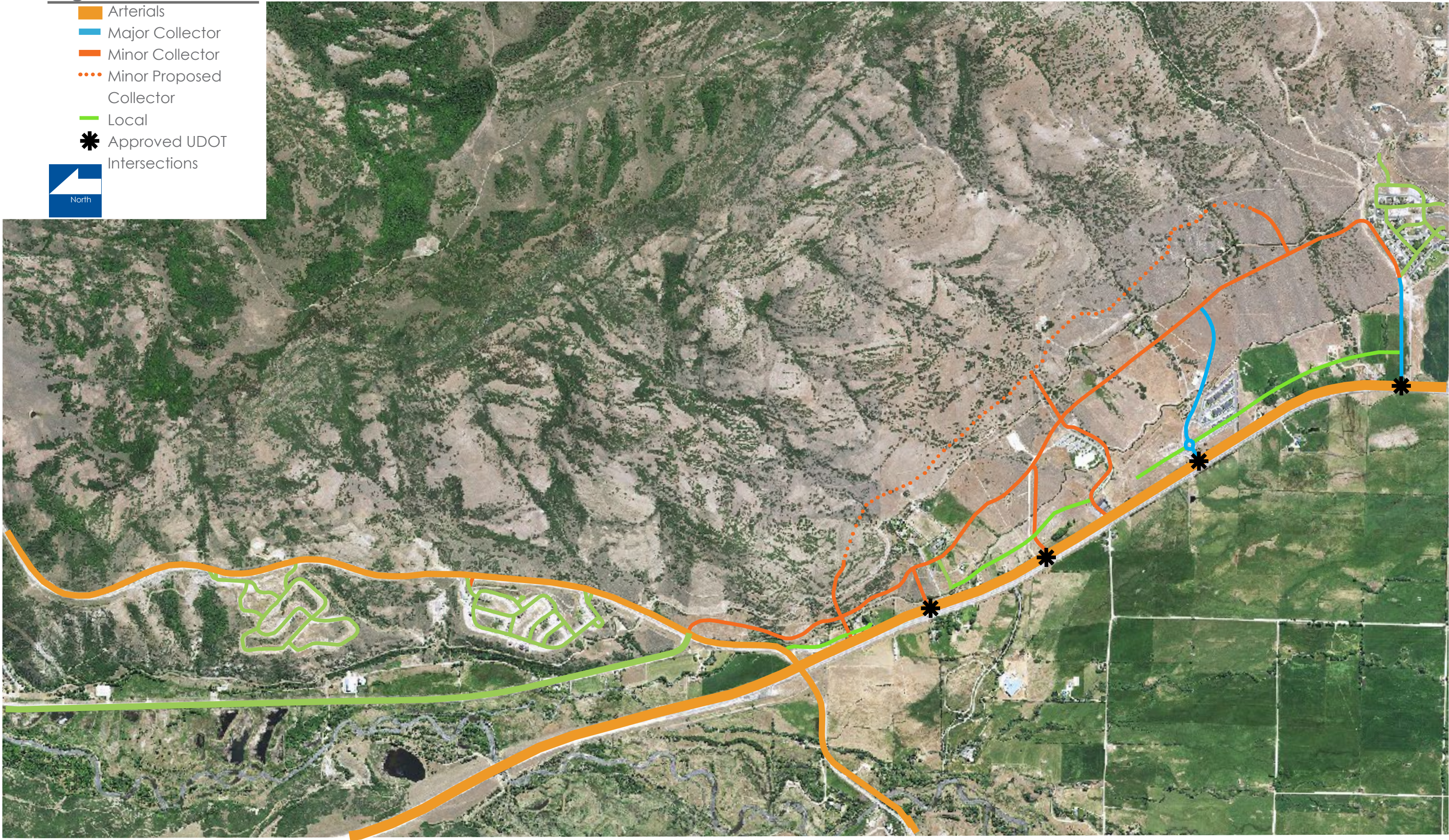
4. APARTMENTS (AS CONTAINED IN SECTION 16.16.11 OF THE WASATCH COUNTY CODE)

4. Previously approved projects: There are a number of previously approved projects in the North Village that include apartment product. No new projects with apartments shall be approved in the North Village. Revising of a master plan that includes apartments could require a complete revision of that plan which would negate any pre-existing apartment plan.

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Legend

-  Arterials
-  Major Collector
-  Minor Collector
-  Minor Proposed Collector
-  Local
-  Approved UDOT Intersections



NVOD CODE

Wasatch County, Utah

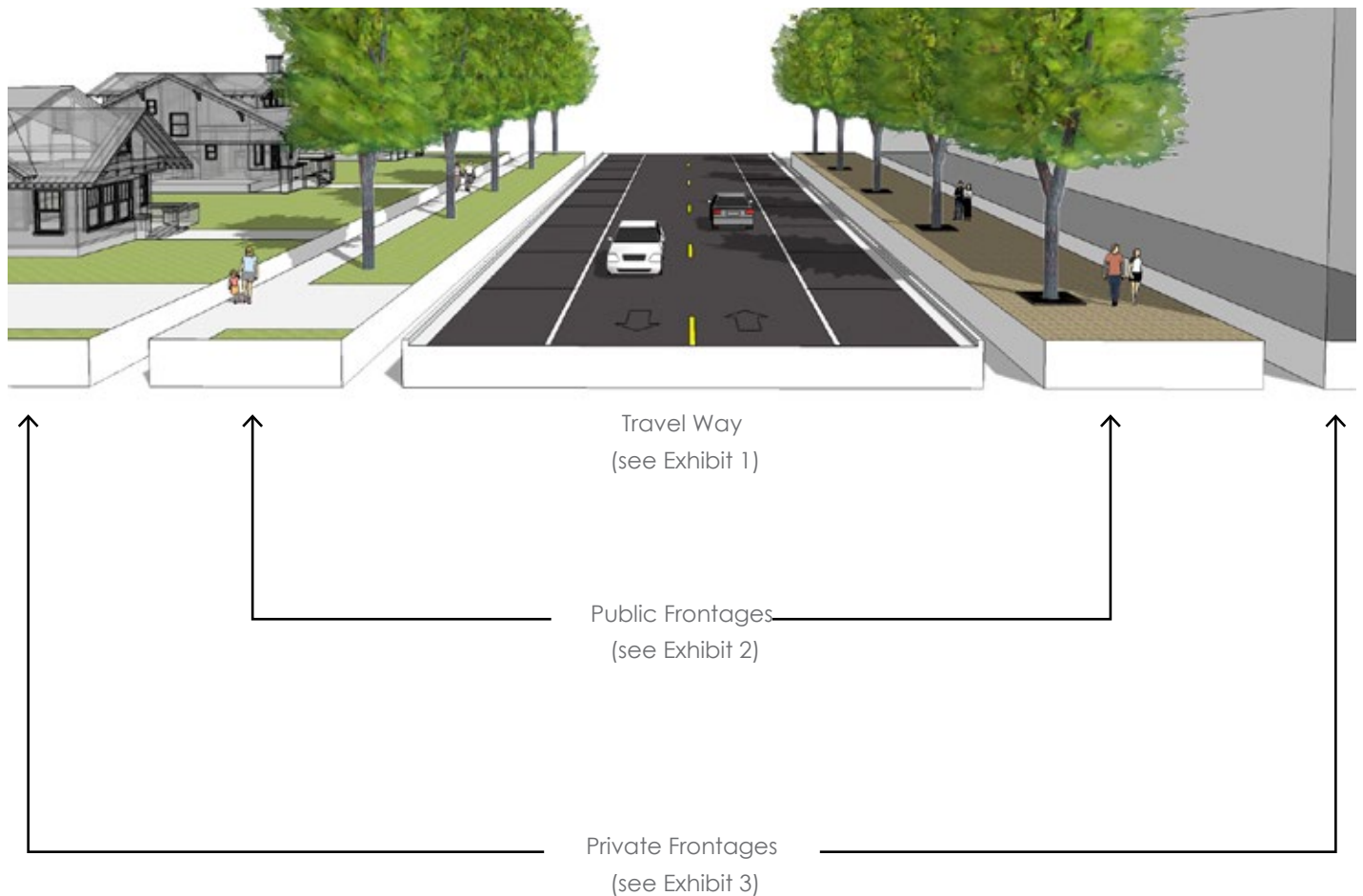
TRANSPORTATION MODULES

All streets within the North Village Overlay District will implement an assembled module approach to determine the appropriate right-of-way. Each street shall include a travel way, a public frontage type (within the right-of-way) on both sides of the travel way, and private frontage types on both sides of a street.

The type of travel way may be dictated by the Wasatch County Master Transportation Plan as represented on the NVOD street map for specific streets in the district, Title 14 of the County code, traffic volume (ADT) determined by a traffic study, the relationship and proposed function within a transect zone, or based upon contextual land use. Travel way types for commercial streets shall comply with those provided in Exhibit 1 of this Code unless there is a conflict with Title 14 or the Master Transportation plan. In which case Title 14 and the master transportation plan shall prevail.

Public frontage types are dictated by transect zone and the proposed land use within the transect zone. Public frontage types shall comply with those provided in Exhibit 2 of this Code.

Private frontage types are dictated by each corresponding land use adjacent to the associated private frontage. Private frontage types shall comply with those provided in Exhibit 3 of this Code.

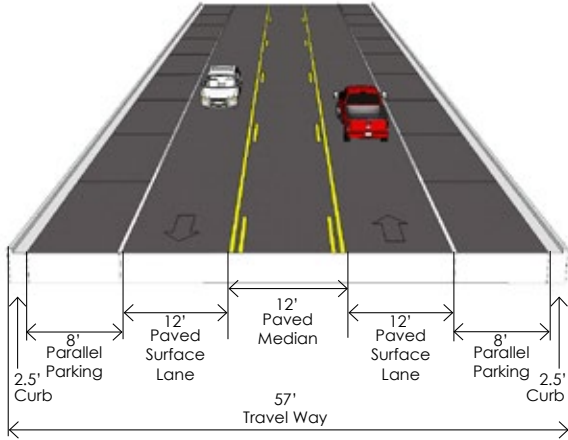


(NOTE: Travel Way, and Frontages are in Exploded view)

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

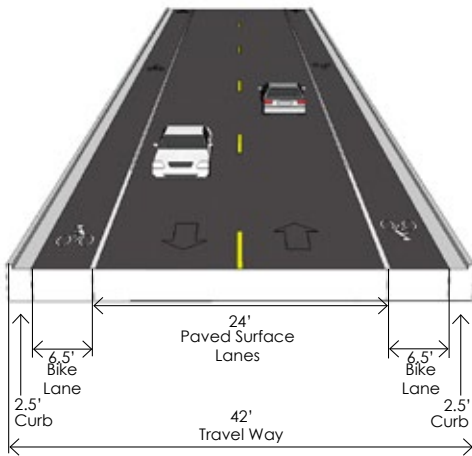
Wasatch County, Utah

EXHIBIT 1 - TRAVEL WAYS



MAJOR COLLECTOR

Average Daily Trips	>8,000
Maximum Single Family Units	> 800
Maximum Centerline Grade	8%
Minimum Corner Radius	30 ft.
Permitted Transect Zones	T6, T5, T4



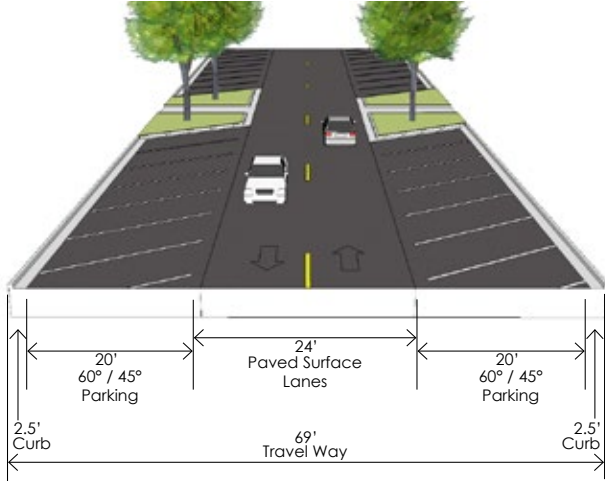
MINOR COLLECTOR

Average Daily Trips	2,001-8,000
Maximum Single Family Units	201-799
Maximum Centerline Grade	10%
Minimum Corner Radius	25 ft.
Permitted Transect Zones	T6, T5, T4, T3, T2, T1

NVOD CODE

Wasatch County, Utah

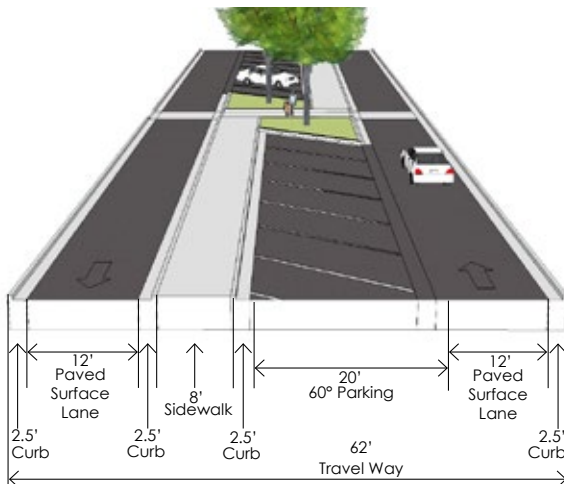
EXHIBIT 1 - TRAVEL WAYS



COMMERCIAL COLLECTOR 1*

Average Daily Trips	2,001-8,000
Maximum Single Family Units	N/A
Maximum Centerline Grade	6%
Minimum Corner Radius	25 ft.
Permitted Transect Zones	T6, T5, T4

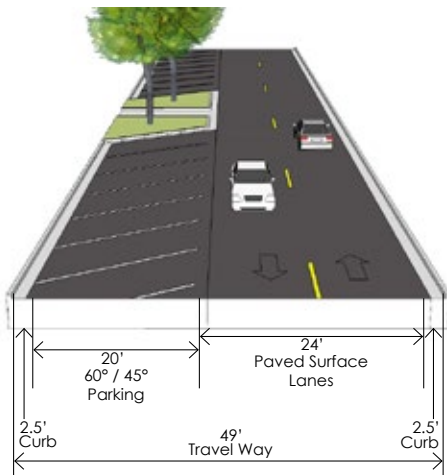
(Landscape Island Every 16 Stalls)



COMMERCIAL COLLECTOR 2*

Average Daily Trips	2,001-8,000
Maximum Single Family Units	N/A
Maximum Centerline Grade	6%
Minimum Corner Radius	25 ft.
Permitted Transect Zones	T6, T5, T4

(Landscape Island Every 16 Stalls)



COMMERCIAL COLLECTOR 3*

Average Daily Trips	2,001-8,000
Maximum Single Family Units	N/A
Maximum Centerline Grade	6%
Minimum Corner Radius	25 ft.
Permitted Transect Zones	T6, T5, T4

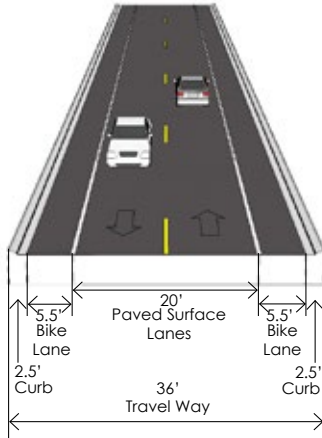
(Landscape Island Every 16 Stalls)

(* Roads May Be Private with Public Access Easements)

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

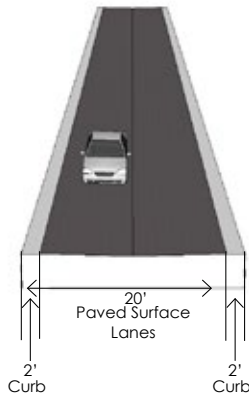
Wasatch County, Utah

EXHIBIT 1 - TRAVEL WAYS



LOCAL

Average Daily Trips	0 - 2,000
Maximum Single Family Units	151-200
Maximum Centerline Grade	10%
Minimum Corner Radius	25 ft.
Permitted Transect Zones	T6, T5, T4, T3, T2, T1



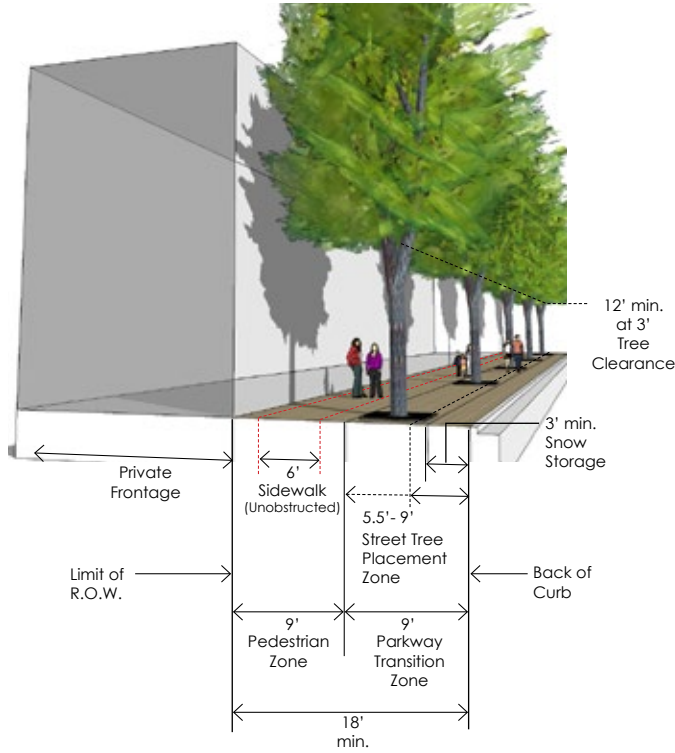
ALLEY

Average Daily Trips	N/A
Maximum Single Family Units	N/A
Maximum Centerline Grade	6%
Minimum Corner Radius	18 ft.
Permitted Transect Zones	T6, T5, T4, T3

NVOD CODE

Wasatch County, Utah

EXHIBIT 2- PUBLIC FRONTAGES



URBAN RETAIL

Minimum Width	18 ft.
Permitted Curb Type	Highback
Parkway Transition Zone	9 ft. minimum*
Parkway Transition Zone	Hardscape with Tree Grates (5 ft. min.)
Snow Storage Zone	3 ft. minimum (measured from back of curb)
Street Tree Placement**	5.5 ft. - 9 ft. (measured from back of curb)
Street Tree Spacing	Opportunistic
Pedestrian Zone Width	9 ft. minimum
On-Street Dining	Permitted
Sidewalk	6 ft. minimum*
Permitted Transect Zones	T6, T5, T4, T3***

* Sidewalk minimum must be unobstructed, but may be located within both the parkway transition and pedestrian zones
 ** Refers to trunk placement, not edge of tree grate
 *** Permitted in T3 for commercial uses only.

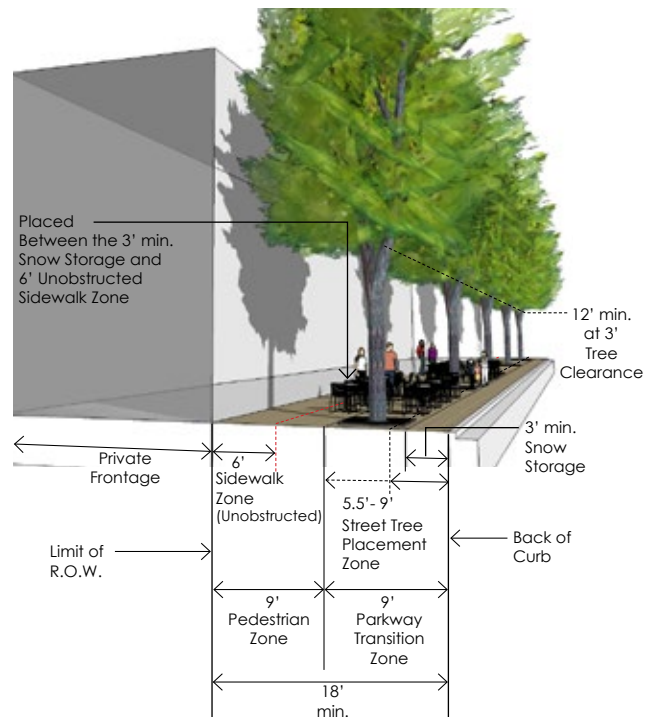
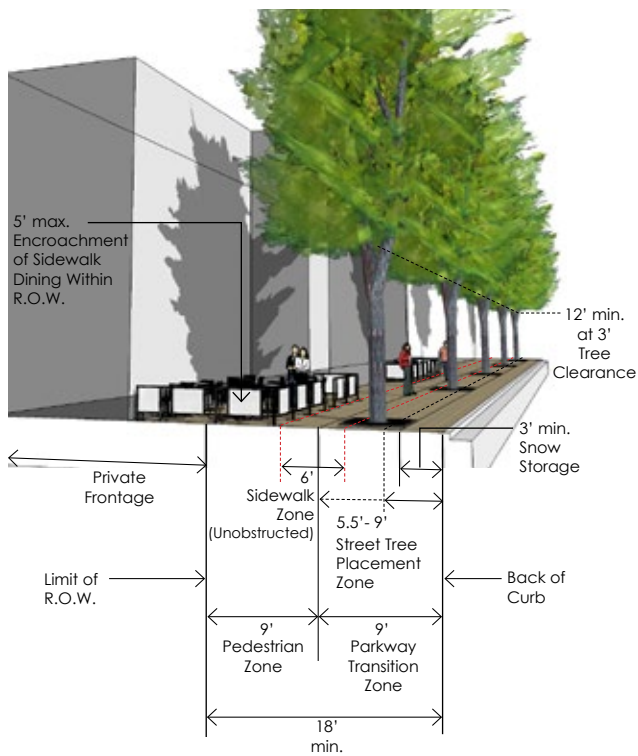
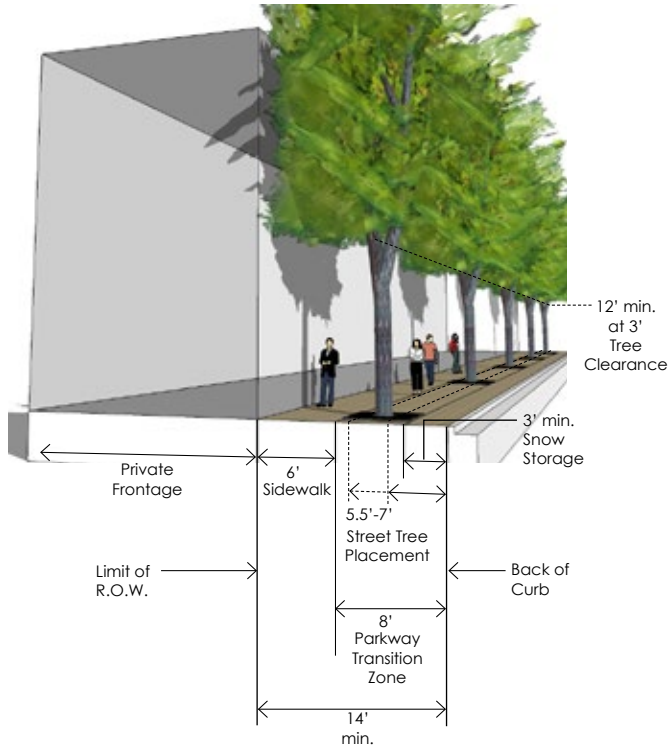


EXHIBIT 2- PUBLIC FRONTAGES



URBAN OFFICE

Minimum Width	14 ft.
Permitted Curb Type	Highback
Parkway Transition Zone	8 ft. minimum*
Parkway Transition Zone	Hardscape with Tree Grates (5 ft. min.) Grass permitted in T6 and T5 zones for residential uses only.
Snow Storage Zone	3 ft. minimum (measured from back of curb)
Street Tree Placement**	5.5 ft. - 7 ft. (measured from back of curb)
Street Tree Spacing	Opportunistic
Pedestrian Zone Width	6 ft. minimum
On-Street Dining	Not permitted
Sidewalk	6 ft. minimum*
Permitted Transect Zones	T6, T5, T4, T3***

* Sidewalk minimum must be unobstructed, but may be located within both the parkway transition and pedestrian zones

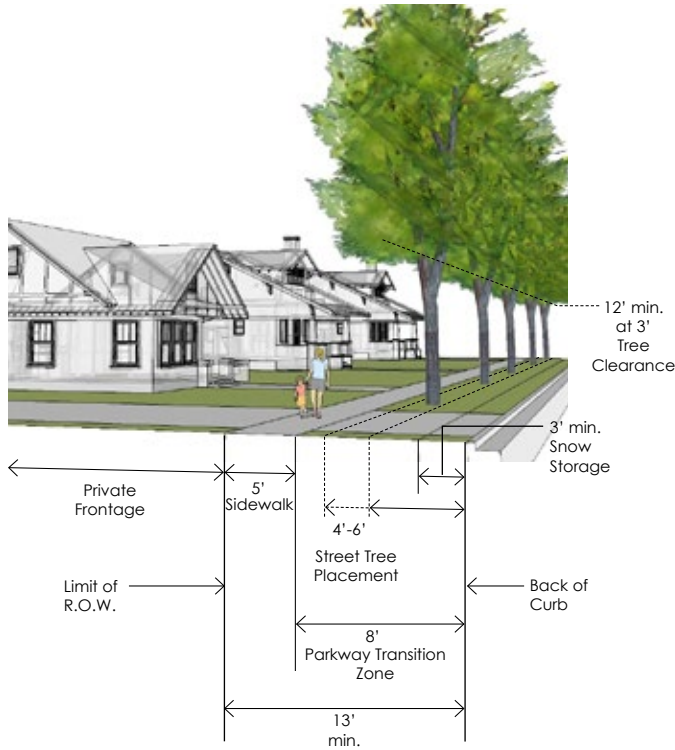
** Refers to trunk placement, not edge of tree grate

*** Permitted in T3 for commercial uses only.

NVOD CODE

Wasatch County, Utah

EXHIBIT 2- PUBLIC FRONTAGES



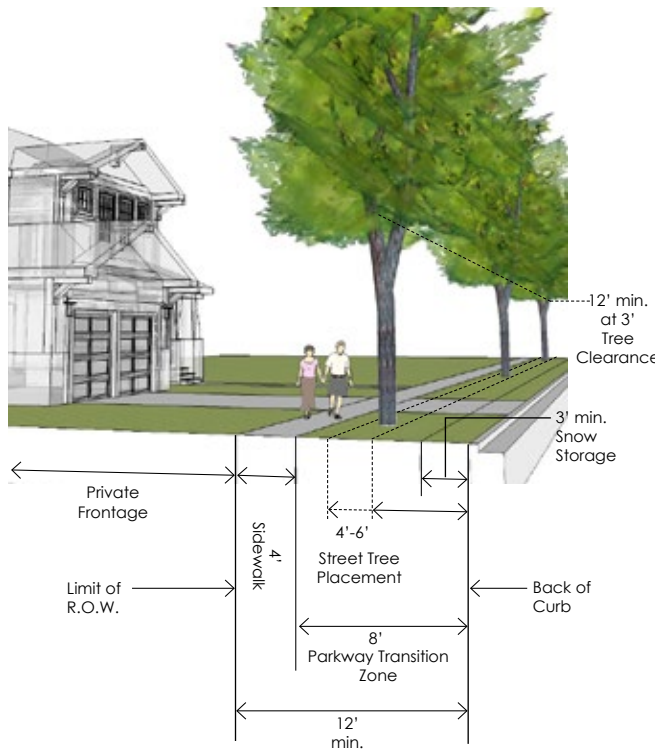
SUBURBAN

Minimum Width	13 ft.
Permitted Curb Type	Highback or rolled
Parkway Transition Zone	8 ft. minimum
Parkway Transition Zone	Landscaped
Snow Storage Zone	3 ft. minimum (measured from back of curb)
Street Tree Placement	4 ft. - 6 ft. (measured from back of curb)
Street Tree Spacing	40 ft. o.c. (regular)
Sidewalk Width	5 ft. minimum
On-Street Dining	Not permitted
Permitted Transect Zones	T4, T3, T2, T1

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

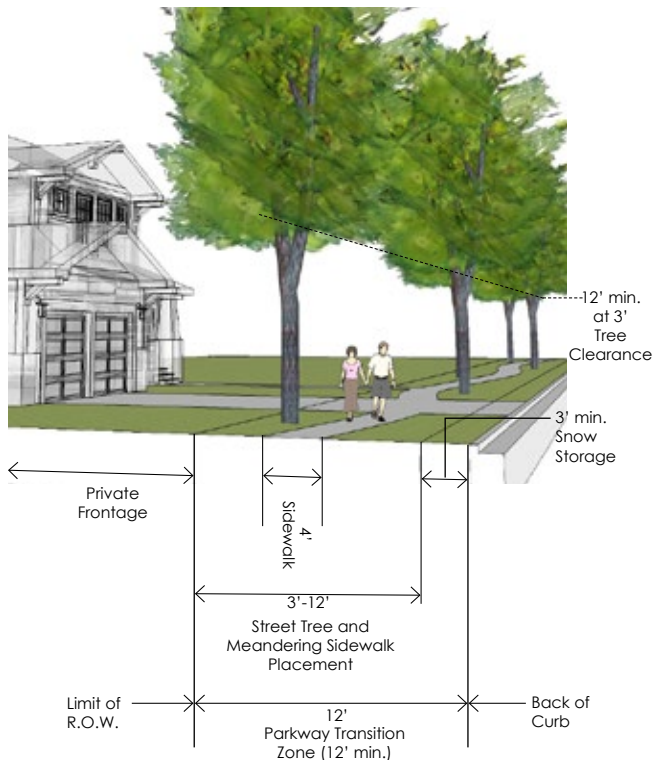
EXHIBIT 2- PUBLIC FRONTAGES



RURAL EDGE

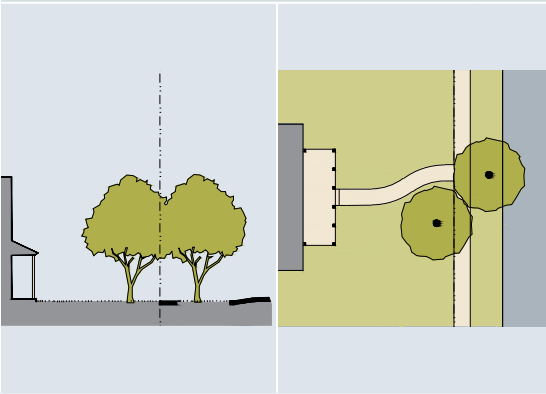
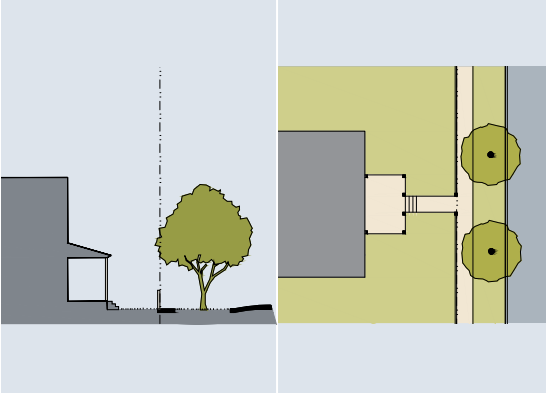
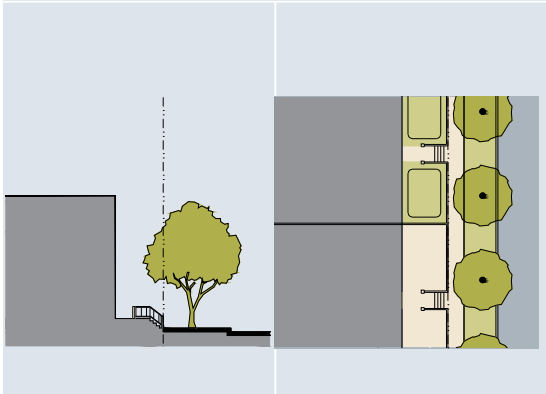
Minimum Width	12 ft.
Permitted Curb Type	Highback or rolled
Parkway Transition Zone	8 ft. minimum
Parkway Transition Zone	Landscaped/Xeriscape
Snow Storage Zone	3 ft. minimum (measured from back of curb)
Street Tree Placement	4 ft. - 6 ft. (measured from back of curb)
Street Tree Spacing	Naturalistic/Clustered
Sidewalk Width	4 ft. minimum (Meandering/standard minimum 300 ft. radius)*
On-Street Dining	Not permitted
Permitted Transect Zones	T3, T2, T1

*No sidewalks or sidewalk on one side in T1 Zone only



NVOD CODE

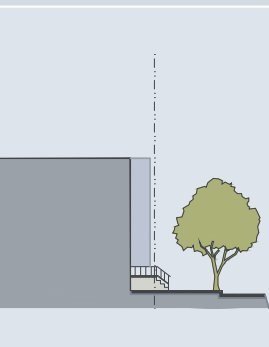
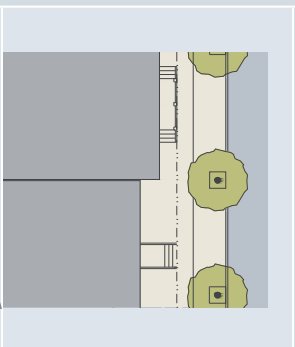
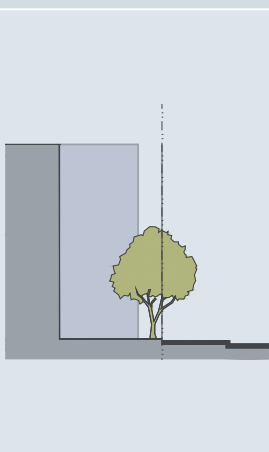
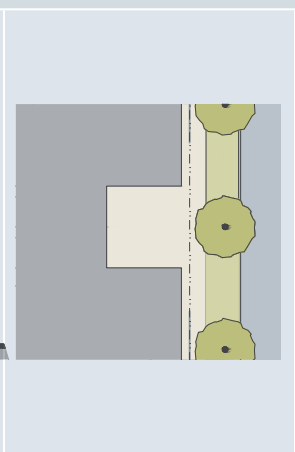
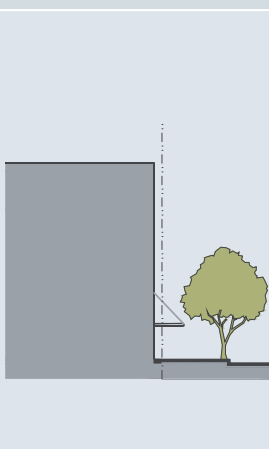
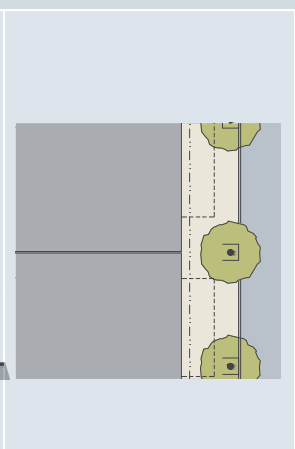
Wasatch County, Utah

EXHIBIT 3A - PRIVATE FRONTAGES		
SECTION	PLAN	FIRST LOT LAYER REGULATIONS
COMMON YARD		
	Transect Permitted Elements	T1, T2, T3, T4 Fences, hedges and masonry walls, 4 ft. max. in height (36" inside clear-view triangle), outdoor furnishing within the porch.
	Permitted Encroachments	Porch 6 ft. to 16 ft. in depth. No part of a porch or stairs are permitted within the public right-of-way
	Surface Treatment Special Requirements	Ground cover, turf grass, trees (all shapes), xeriscape Fences, hedges and walls must be parallel with the facade of the <i>principal building</i> or placed along the front lot line
PORCH AND FENCE		
	Transect Permitted Elements	T1, T2, T3, T4 Hedges and masonry walls, 4 ft. max. in height (36" inside clear-view triangle), outdoor furnishing within the porch.
	Permitted Encroachments	Porch 6 ft. minimum in depth, maximum depth up to 100% of setback in T4 and 16 ft. maximum in T3. No part of a porch or stairs are permitted within the public right-of-way
	Surface Treatment Special Requirements	Ground cover, turf grass, trees (all shapes), flower garden, vegetable garden, small shrub, xeriscape Hedges and masonry walls may be along <i>frontage lines</i> or parallel with the facade of the <i>principal building</i> .
TERRACE		
	Transect Permitted Elements	T3, T4, T5 Outdoor furnishings and business-related signs.
	Permitted Encroachments	Terraces should encroach 100% of setback, no less than 6 ft. for a min. of 80% of the frontage width. No part of a porch or stairs are permitted within the public right-of-way
	Surface Treatment Special Requirements	Paving; concrete, brick, or natural stone, ground cover, small shrubs, flower garden, vegetable garden, xeriscape Ramps for wheelchair access and stairs providing access to the terrace may be located within first layer. Terraces must be raised a minimum of 18" from average sidewalk grade.

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

EXHIBIT 3B - PRIVATE FRONTAGES

SECTION	PLAN	FIRST LOT LAYER REGULATIONS	
STOOP			
		<p>Transect Permitted Elements Encroachments</p> <p>Surface Treatment Special Requirements</p>	<p>T3, T4, T5</p> <p>Hedges and metal fences along the frontage line, 4 ft. max. height.</p> <p>Stoops up to 100% of setback depth. No part of a porch or stairs are permitted within the public right-of-way</p> <p>Paved in coordination with the public frontage, may be landscaped if the front setback exceeds 6 ft.</p> <p>Stoops may be recessed into the building facade where a front setback is less than 6 ft.</p>
FORECOURT			
		<p>Transect Permitted Elements Encroachments</p> <p>Surface Treatment Special Requirements</p>	<p>T3, T4, T5, T6</p> <p>Outdoor furnishings and business-related signs.</p> <p>Forecourts should encroach 100% of setback and may encroach up to 5 ft. into the R.O.W. provided that the minimum 6 ft. sidewalk is unobstructed</p> <p>Paving; concrete, brick, or natural stone, ground cover, small shrubs, flower garden, vegetable garden, xeriscape</p> <p>Forecourts are generally at sidewalk grade. If above sidewalk grade ramps for wheelchair access and stairs providing access to the forecourt may be located within the setback.</p>
SHOPFRONT			
		<p>Transect Permitted Elements Encroachments</p> <p>Surface Treatment Special Requirements</p>	<p>T3, T4, T5, T6</p> <p>Outdoor furnishings and business-related signs.</p> <p>Shopfronts awnings may encroach/overhang sidewalk within R.O.W. no more than 9 ft. max. or to the edge of the parkway transition zone.</p> <p>Paving; concrete, brick, or natural stone, ground cover, small shrubs, flower garden, vegetable garden, xeriscape</p> <p>Shopfront is aligned closely with the primary setback with the building entrance at sidewalk grade. It has substantial glazing on the sidewalk level intended for conventional retail use.</p>

5. STREETS

The North Village will be structured on a grid-like system, with limited cul-de-sacs, in order to allow for buildings to be oriented to the streets, have front door access, downplay garages, and provide for walkable neighborhoods. Where topographically feasible, subdivisions shall be based on a traditional street grid.

Perimeter block sizes are based on a pedestrian scale that is consistent with the historic pioneer settlement pattern common to hundreds of communities in the Intermountain West. This historic block structure allows the majority of residents to be within a five-to-ten-minute (1/4 to 1/2 mile) walk to neighborhood centers and community amenities.

- a. General Requirements - Streets must support the overall connectivity requirements for the development. They should balance all forms of mobility while maximizing convenience for pedestrians. All streets and street layouts are subject to review and approval by Wasatch County.
- b. The character of streets within the North Village Overlay District will vary based on their location within specific transect zones. Rights of way (R.O.W.) for residential streets in the North Village shall not be less than 60' as defined in Title 14.
- c. All proposed streets, whether public or private, shall conform to minimum R.O.W. prescribed in Title 14 of the County code, Code Design Standards and comply with Fire Code.
- d. Primary and Secondary Street Network Criteria: The following priorities and outcomes shall guide the development of the primary and secondary street network and the implementation of this section and its technical guidance herein:
 - i. Neighborhoods shall aim to be connected to one another through a woven collector system that offers several external access points. Connections shall be made in conformance with 16.27 of the County code.
 - ii. There shall be a hierarchy of streets with more important streets at key locations
 - iii. A variety of on-street parking conditions (angled parking, parallel parking) shall be employed to calm traffic on retail and commercial streets in T6, T5, T4.
 - iv. Walking and cycling should be a convenient option for movement within the network in terms of safety and efficient of movement from one location to another.
 - v. Access to local commercial and business destinations from adjacent neighborhoods should generally be achieved via collector and local streets that are consistent with the contextual transect zone in which they reside.
 - vi. Alternate routes should be available for traffic congestion relief at peak times.
 - vii. The street types established in and networks encouraged by this section should balance efficient travel with appropriate speeds.
 - viii. Connecting streets should be assigned within a network in conjunction with an overall connectivity strategy, rather than just to link ad hoc elements of subdivisions.
 - ix. Roadways should follow natural features such as creek beds and topography as appropriate.
 - ix. Linkages between streets, alleys and trails should be purposeful and integrated into the transportation network.

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

6. BLOCKS

- a. The street network must be configured as a grid creating blocks in areas where the average slope of existing terrain is less than 8 percent; according to the following:
 - i. Blocks together with streets, shall form the network of thoroughfares and public spaces. Blocks shall generally be small-to-moderate in size and rectangular in shape, but may be modified due to a number of site conditions
 - ii. Blocks are required to be bordered on all four sides by streets. In selected instances, one or two sides of the block may border distinct, designed public spaces. (The frontage of lots and buildings toward these spaces requires full adherence to the Standards of this Code)
 - iii. Blocks must be sized according to Table 5A - Street Network Requirements,
 - iv. Blocks containing civic districts may exceed 15 acres.
 - v. Perimeter blocks along the edge of a neighborhood may deviate from block size minimum requirements in order to accommodate existing edge conditions, ensuring a more smooth transitions between current circumstances and future development.
 - vi. Block perimeters are measured from the closest edge of the right of way.

TABLE 5A - STREET NETWORK REQUIREMENTS

TRANSECT ZONE	STREET NETWORK				
	Vehicular Block Perimeter	Permitted Intersections	Vehicular Block Perimeter Exceptions		
			Slopes > 10% Over 50% of Block Area	Slopes > 10% Over 70% of Block Area	Slopes > 10% Over 90% of Block Area
T1, T2, T3	2,600 ft. max	T, 4W, SI, TN	3,120 ft. max	3,380 ft. max	3,640 ft. max
T4, T5, T6	2,100 ft. max	T, 4W, SI, TN, TC, SA, RA, EA	2,520 ft. max	2,730 ft. max	2,940 ft. max
MID-BLOCK PEDESTRIAN PASSAGE	Not Required in Blocks Under Maximum Perimeter		Required 8 ft. trail within a 20 ft. easement Pedestrian Passage, No More Than 600 ft. From Nearest Intersection		

- b. The street network in areas of steeper terrain, where the average existing terrain exceeds 6 percent slope must be configured according to the following:
 - i. Close ended streets or cul-de-sacs are permitted within T1 and T2 in order to reduce earthwork volumes. In all instances cul-de-sacs must be accompanied by alternate pedestrian routes at the end of the circle, that are connected to an adjacent street or trail, to provide off-street pedestrian connectivity that has been compromised because of the lack of connecting streets in steeper areas.
 - ii. Larger blocks in steep terrain that qualify for the block perimeter exception in Table 5A, shall incorporate mid-block pedestrian passage ways to provide adequate pedestrian connectivity.
 - iii. Close-ended streets (cul-de-sacs) may be permitted within T1 and T2, or adjacent to natural or man-made boundaries that limit vehicular connectivity.
 - iv. Close-ended streets (cul-de-sacs) may not exceed 1300 feet in length and 30 units or ERU's, measured along the centerline from the nearest intersection to the center of the cul-de-sac.

NVOD CODE

Wasatch County, Utah

TABLE 5B - INTERSECTION ASSEMBLY TYPES								
INTERSECTION TYPE	T1	T2	T3	T4	T5	T6	DESCRIPTION	ILLUSTRATION
T-INTERSECTION (T)	•	•	•	•	•	•	A standard intersection between two <i>thoroughfares</i> where one is terminated. <i>T-Intersections</i> cause the least vehicle to vehicle and vehicle to pedestrian conflict points. Urban <i>T-Intersections</i> provide opportunities for <i>terminated vistas</i> .	
4-WAY INTERSECTION (4W)	•	•	•	•	•	•	A standard intersection between two continuous <i>thoroughfares</i> at or near right angles.	
STAGGERED INTERSECTION (SI) *	•	•	•	•	•	•	An intersection where one continuous <i>thoroughfare</i> is intersected by two terminating <i>thoroughfares</i> in close proximity. <i>Staggered intersections</i> provide a high number of <i>terminated vistas</i> and are well suited at <i>commercial streets</i> where traffic is slow movement and encouraged along <i>shopfronts</i> .	
TURBINE (TN)	•	•	•	•	•	•	An intersection between three or four terminating <i>thoroughfare</i> segments creating open space or a <i>civic district</i> at the center. <i>Pin-wheel intersections</i> are versatile, providing opportunities for squares, greens, or playgrounds, and additional on-street parking.	
TRAFFIC CIRCLE (TC)				•	•	•	A free-movement intersection between two or more <i>thoroughfares</i> . <i>Traffic circles</i> allow vehicles to negotiate complex intersections safely without coming to a complete stop. For this reason, traffic circles are not appropriate in places with moderate to high pedestrian activity.	
SQUARE ABOUT (SA)				•	•	•	A free or near free-movement intersection of four or more <i>thoroughfare</i> segments in urban conditions. Unlike <i>traffic circles</i> , <i>square-about</i> s require slow speeds and are therefore pedestrian friendly. They also allow for spatial enclosure by buildings.	
ROUND ABOUT (RA)				•	•	•	A very large <i>traffic circle</i> intersecting multiple urban <i>thoroughfares</i> with a pedestrian accessible <i>civic district</i> at the center in a circular, oblong, or elliptical shape. <i>Round-about</i> s may require traffic control by timed or on-demand signalization to ensure safety at pedestrian crossings.	
ELONGATED ROUND ABOUT (EA)				•	•	•	A <i>civic district</i> including <i>civic space</i> and <i>civic buildings</i> well suited for the intersection of more than four <i>thoroughfare</i> segments in very urban environments. <i>Elongated round-about</i> s intersect the highest number of <i>thoroughfares</i> due to their size and are well suited to highly trafficked <i>thoroughfares</i> such as <i>boulevards</i> .	

* Must comply with Title 14

- c. Streets and intersections must be configured according to the following:
 - i. All streets, unless approved as a cul-de-sac, must connect to other streets with intersections, forming a network.
 - ii. New streets must connect wherever possible to streets outside of the community unit, or stub into undeveloped property every 400 - 1300 feet
 - iii. New streets are limited by right-of-way width according to an assembled module consisting of a travel way and 2 public frontages as defined in Section 3 of this Code.
 - iv. New intersections are limited by type according to Table 5B- Intersection Assembly Types, permitted intersections.
 - v. Compliance with clear-view triangle standards for corner lots must be demonstrated at Final Plat.
 - vi. Street cross sections and intersection assemblies must be included for each mapped street and intersection in a Master Planned area.
 - vii. Preliminary Plans must map internal utility easements; those not traversing more than the Transect Zone, should also be shown.
 - 1. Major utility easements should be assigned to street rights-of-way.
 - 2. Proposed utilities should avoid traversing neighborhoods.
 - viii. Transportation network designations must be consistent with the Wasatch County transportation master plan
- d. In T4(NC), T5(TC), and T6(VC) Transect Zones, the blocks may include a rear-of-lot alley or lane (to provide vehicle access to street fronting lots)
- e. Any lot with an area less than 4,000 SF or with street frontage less than 50 feet shall require a rear lane or alley for vehicular access in accordance with Title 14 alley requirements.
- f. No less than one pedestrian passage (8 ft. wide within a 20 ft. easement) must be provided for every 300 feet of street frontage within the T4(NC), T5(TC), and T6(VC) Transect Zones, connecting with "rear lot" or "mid-block" parking lots (not necessarily through to the other side of the block).

7. STREET CHARACTER

- a. Relationship to public realm - Buildings should be oriented to positively define and frame adjacent public streets, and/or public or common spaces, while promoting the collective form of neighborhoods by:
 - i. Matching or complementing adjacent building setbacks;
 - ii. Matching or complementing adjacent building heights and massing;
 - iii. Completing the streetscape pattern of the street they front.
- b. Relationship to neighboring homes – Houses should be designed to relate to their neighbors rather than as a stand-alone building. This design standard can be accomplished by, among other things:
 - i. Orienting the side yards in order to preserve the privacy of the outdoor spaces of both.
 - ii. Modulating side yard and rear yard volumes to provide as much distance as possible between the facades in order to preserve privacy of the outdoor spaces of both.
 - iii. Placing windows (with different sizes) in side and rear yards designed with care and sensitivity for the preservation of privacy between buildings.
- c. Activating the street - Buildings should be designed with frontages that engage the street by providing direct access to the public realm (street or Community Space).

8. PARKING AND LOADING STANDARDS

- a. Required Parking
 - i. The number of required parking stalls and landscaping for surface parking is prescribed by land use as defined in Title 16 of the Wasatch County Code.

NVOD CODE

Wasatch County, Utah

CUL-DE-SAC AND INSIDE CORNER LOT FRONTAGE

Minimum lot frontage for cul-de-sac and inside corner lots must be at least 75% of the standard lot frontage as specified in Tables 4A-4F of this Code. This distance is measured at the required setback for the transect.

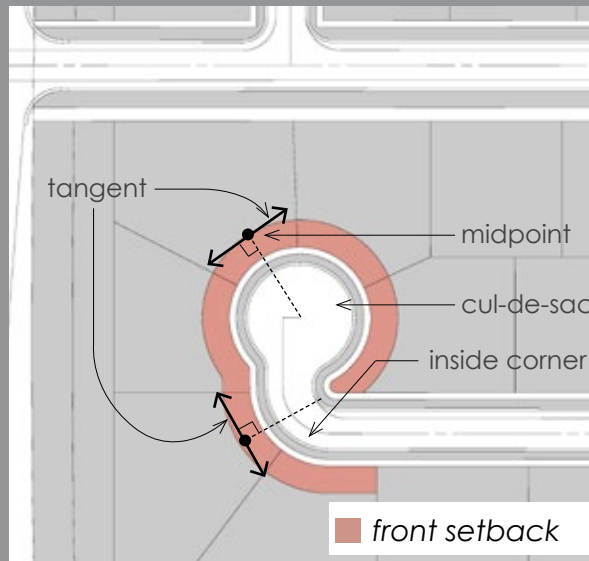
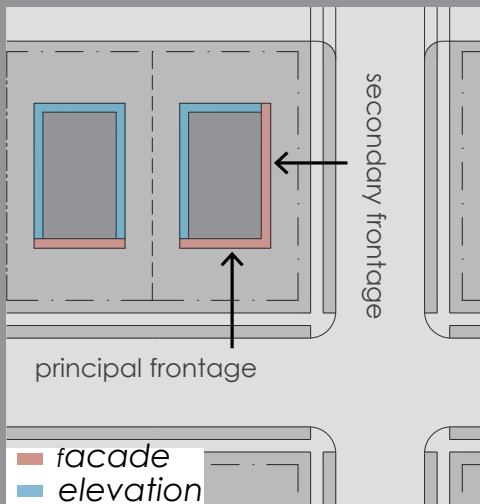


EXHIBIT 4

PRINCIPAL FRONTAGE PLAN



This Transect Plan differentiates the facade and elevation of buildings. Facades are the vertical portions of the buildings that face public thoroughfares. Elevations are the vertical portions of building not facing onto public thoroughfares. Facades are more highly regulated than elevations.

Lots with secondary frontage will continue the same material treatment from principle frontage facade on the secondary frontage facade.

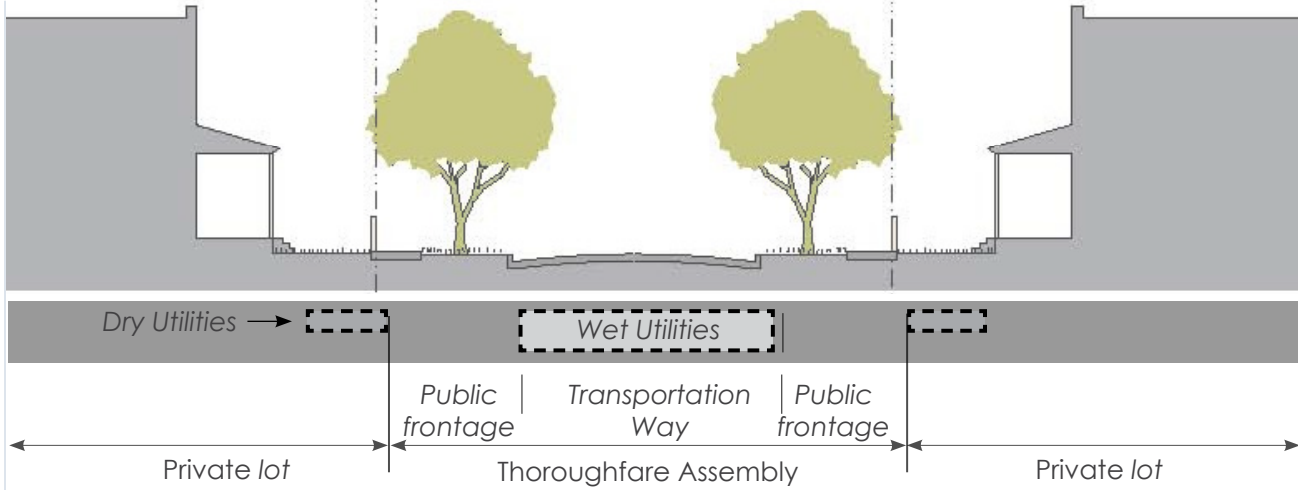
EXHIBIT 5

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

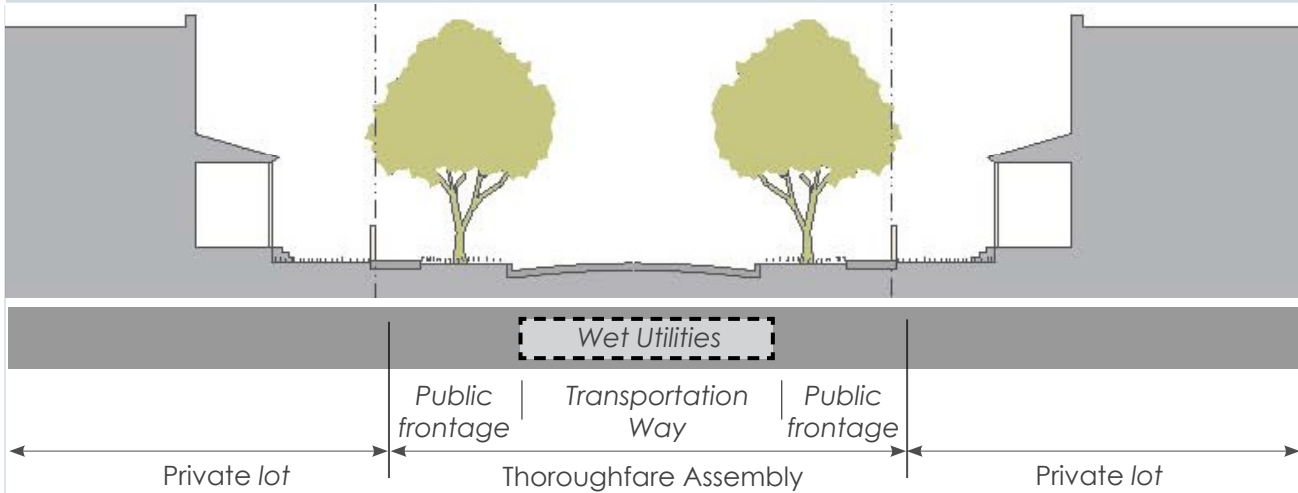
Wasatch County, Utah

TABLE 6 - UNDERGROUND UTILITY EASEMENTS

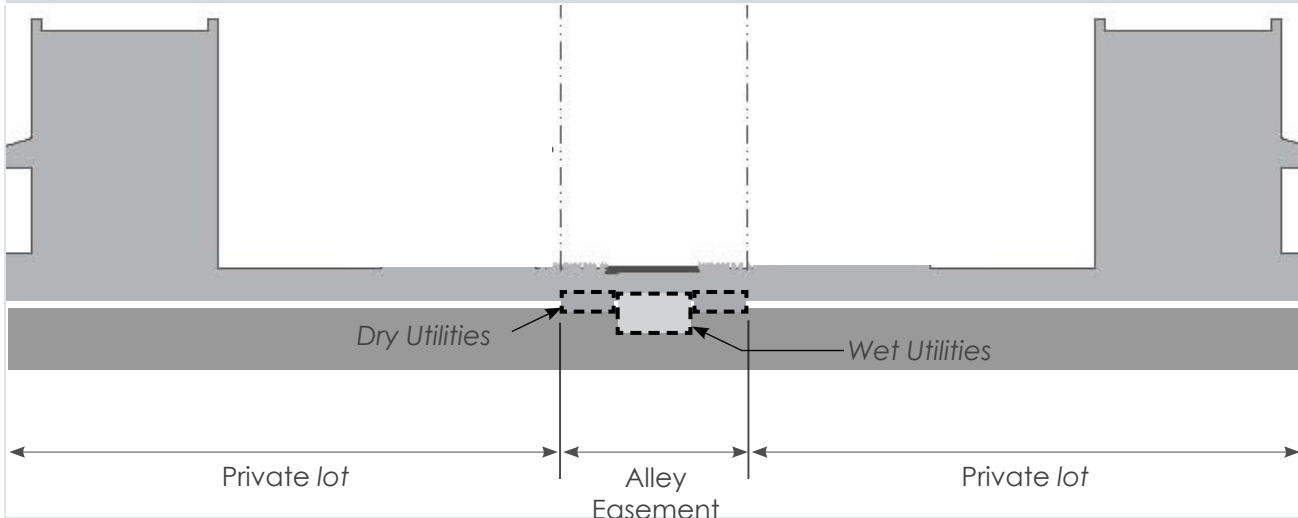
A. TYPICAL SECTION WITHOUT ALLEY



B. TYPICAL SECTION WITH ALLEY



C. TYPICAL ALLEY

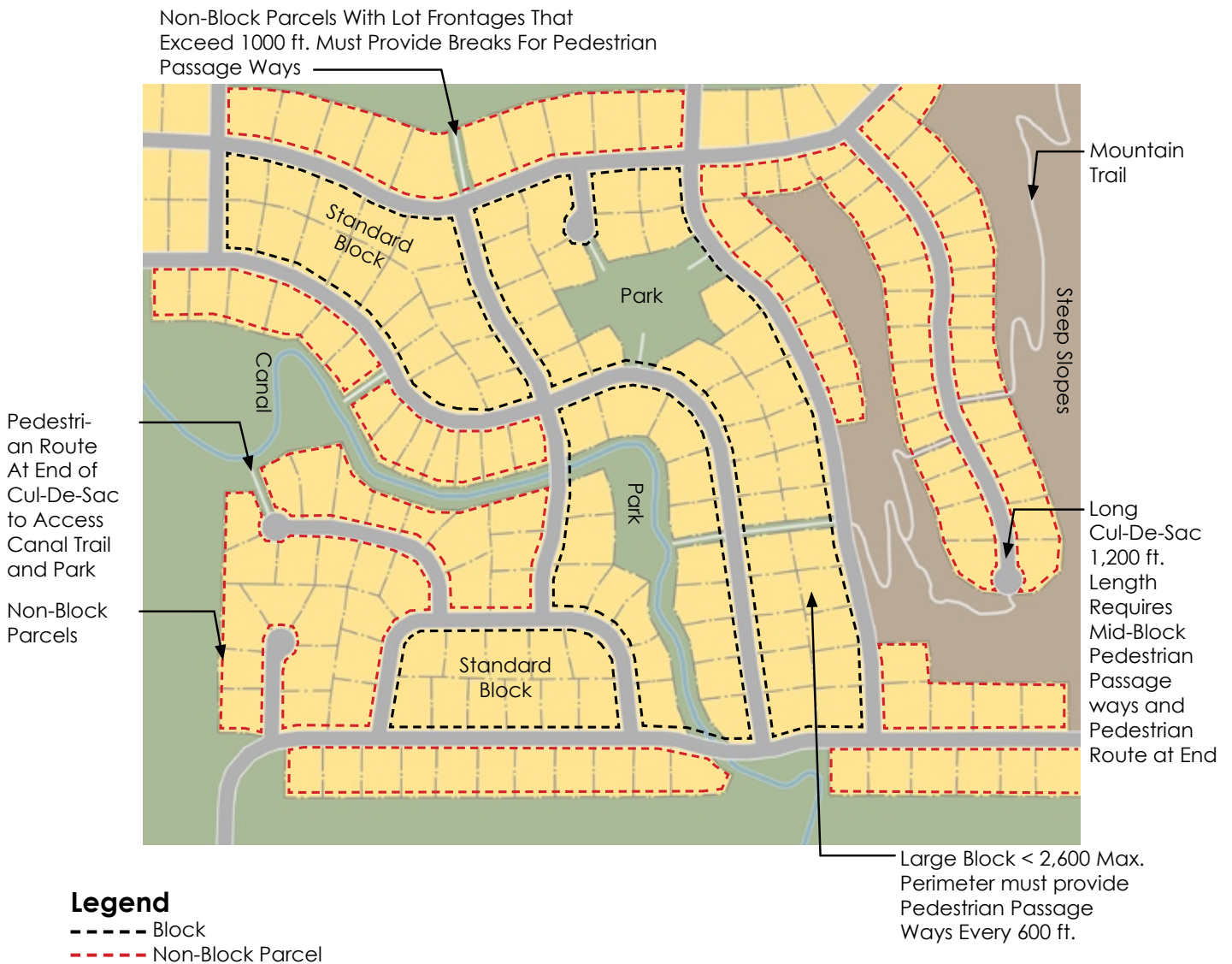


NVOD CODE

Wasatch County, Utah

9. NON-BLOCK PARCELS

- a. Development parcels that are not bordered on all four sides by streets, and therefore not considered Blocks, are subject to the following:
 - i. Non-block parcels can be defined by streets, canals, drainage corridors, utility corridors, project boundaries, undevelopable steep slopes, pedestrian passage ways, and large civic uses.
 - ii. Non-block parcels shall incorporate pedestrian passage ways at strategic locations to allow access to community amenities and facilitate walkability.
 - iii. The maximum perimeter of a group of non-block parcels shall not exceed 2,600 feet.
 - iv. The maximum length of uninterrupted lots along a street or cul-de-sac without a pedestrian break shall not exceed 1,000 feet.



10. SNOW STORAGE STANDARDS

- a. Snow Storage Standards
 - i. Placement and spacing of trees, signage and site furniture along streets must not interfere with the 3 ft. snow storage zone.
 - ii. A Preliminary Plan that includes alleys must include a snow storage area in each block, configured as generally illustrated and sized as specified in Table 7 - Snow Storage*.
 - iii. Snow storage areas must not interfere with vehicular access to garages.
 - iv. Snow storage areas must be strategically located to allow easy access for snowplows
 - v. All landscape plans adjacent to streets and parking lots must consider areas for snow storage.

TABLE 7 - SNOW STORAGE

MIN. REQUIRED AREA IN REAR LANES

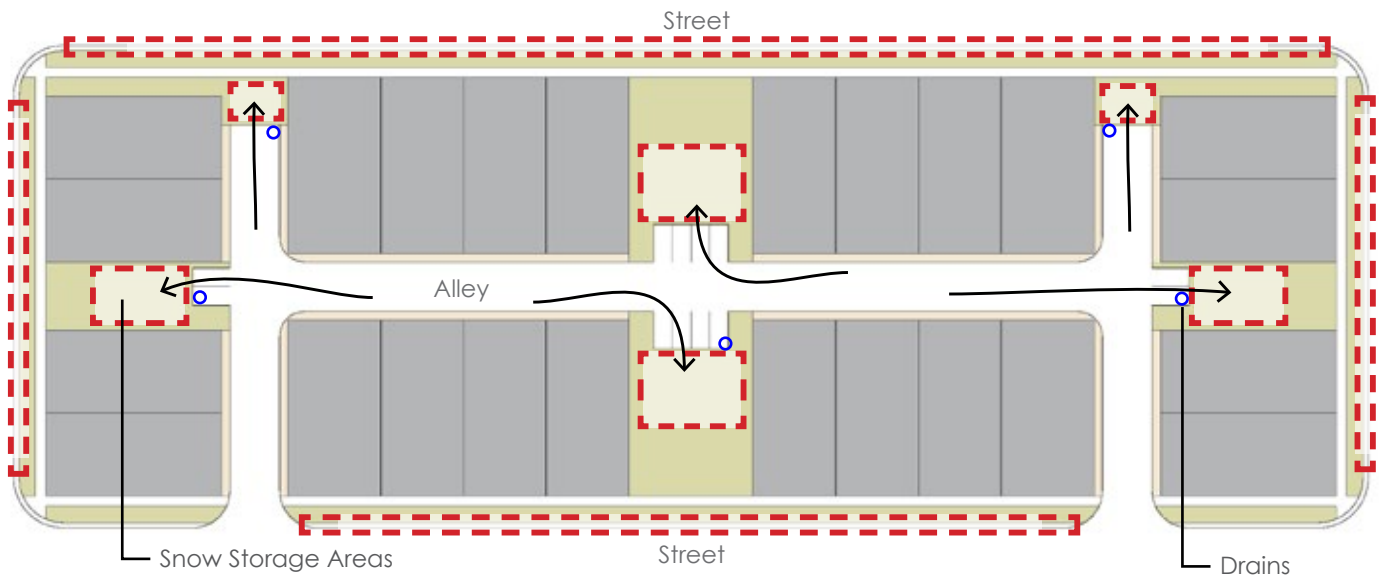
REQUIRED AREA CALCULATION	Equal to 15% of plowed area
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Snow storage areas are required in all alleys, rear lanes, and are not allowed to obstruct **REQUIRED** guest parking.

Snow storage areas are established through HOA ownership.

Snow storage areas may be larger than what is noted above. The illustration below is intended as an example of snow storage locations. Size and location varies by conditions including zoning districts, topography, and street access. Consult with the engineering department.

More specific requirements can be found in Wasatch County Code section 14.



SECTION IV - ARCHITECTURE

The architecture and urban design guidelines contained herein shall govern both residential and non-residential structures within the North Village Overlay District. These guidelines establish the architectural theme that will protect, preserve and enhance the character and charm of the Heber valley.

The architectural criteria presented in this Code are meant to act as guidelines for the design of single family homes, multi-family buildings, civic buildings, and commercial buildings including retail, office, and research and development. These guidelines are not prescriptive; rather, they comprise a body of design elements and characteristics which, when implemented correctly, should create a diverse and harmonious architectural landscape.

Images of buildings included in the document are representative interpretations of the proposed architectural style, not exact templates for future construction. There are many possible successful interpretations of the proposed architectural style. It should not be expected nor desired that each building will incorporate all characteristic elements of the style, or each of the predominant material on a single structure. These guidelines establish a baseline performance threshold with specific evaluation criteria to be used by Staff and the County Architect/Design Consultant to determine compliance. Applicants must demonstrate compliance with these guidelines through precedent images at Master Plan and Development Feasibility, and Preliminary Plan. Architectural renderings for each proposed building type are required at Final and/or Site Plan approval as well as Building Permit.

1. MECHANISM

All architectural elements will be reviewed by the Wasatch County Planning Department and OR a County appointed Architect/Design Consultant/Review Board with a recommendation of support or denial prior to going before the Planning Commission and County Council for approval or administrative approval at building permit. Compliance with design guidelines will be solidified through the building permit process as defined in Title 16.

2. COMMUNITY IDENTITY

- a. A community or neighborhood is physically unified by common design features – which are comprised of a coherent variety of building mass and style, suitable variety of roof types, façade treatment, scale and style of elements, consistent quality of materials, convincing execution of important details, pleasing array of colors – and the relationship of these features to the public spaces and streets. The buildings in the North Village, as a combined group, shall contribute to the overall architectural theme and establish an authentic sense of the place.

The mixed use character of a neighborhood brings variety of building types into play. These types must be harmonious, but not regimented. As the buildings employ correct town making techniques, the visual harmony of a consistent architectural language can bring a varied array of small, moderate, and large building types into a coherent, pleasing ensemble.

Certain historical or period design motifs that are neither representative of the local area, nor adhere to the quality of the proposed architectural vision are prohibited, including (but not limited to) the following: A-frame or geodesic shapes, Swiss chalet, ornate Victorian, Tudor or half-timbered expression, and Colonial. Folk Victorian in the form of farmhouse is acceptable. Architecture that simply has no theme and does not fit into one of the three categories is prohibited.

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

3. ARCHITECTURAL MASSING

- a. The use of a monotonously consistent template or boring repetitive architecture on a number of residential units in proximity to one another is not allowed unless approved by the Wasatch County Planning Commission after a recommendation from the architect/design consultant/review board. As this consideration depends on a degree of aesthetic judgment, the issue must be reviewed carefully project by project – and depends on other factors of the building's quality.

Building heights (as an available maximum) have been established in Tables 4A-4F for each transect zone. The general intent is that the height and bulk of individual buildings should be harmonious with their neighbors. The key characteristic of a building's volume is how clearly it defines the public space of its frontage.

4. FOUR SIDED ARCHITECTURE

- a. The aesthetic character of a development is crucial in making it successful. Each building has four sides and although the principal (front) elevation often receives the most attention it is imperative that the two sides and rear of the building are not ignored. Side windows create cross breezes and let more natural light in the house. When the sides are treated like part of the overall composition, they elevate the house from a series of walls to a coherent composition. Therefore, the design of all four sides are regulated by facade type in this Code.

5. ARCHITECTURAL THEME

- a. The architectural theme for the North Village Overlay District is inspired by the historic agricultural tradition in the Heber valley and the mountain valley geography. Diversity within the aesthetic structure of the theme is encouraged. Designers are encouraged to find local historic examples to serve as templates for new construction.
- b. Acceptable styles include craftsman, farmhouse, and mountain modern



Craftsman

Mountain



Farmhouse



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Wasatch County, Utah

6. MATERIALS

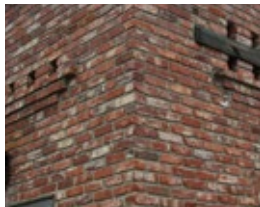
a. The following are the acceptable predominant materials for residential development



Stone



Lap Siding
(No Vinyl)



Brick



Shingle Siding
(No Vinyl)



Timber



Batt and Board Siding
(No Vinyl)



Stucco
(Accent only) Stucco shall not exceed 30% of any facade in T1 -T3. Stucco shall not exceed 20% of any facade in T4 -T6.

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

7. RESIDENTIAL COMPOSITION GUIDELINES

- a. Application of materials on facades should reinforce the logical expression of the materials. In most cases massing of materials should run horizontally. Vertical strips defy structural logic. Horizontal bands make houses feel more structurally sound.



Use horizontal bands



Avoid vertical strips

NVOD CODE

Wasatch County, Utah

- b. Timber elements should be used as an external reflection of the home's internal structure, not merely a wood ornament applied to a facade.



Use

Timber elements should feel like a natural extension of interior volumes, or the repetition of primary structural elements inside the home or building. Timber should make structural sense in terms of scale and proportionate to the structural integrity of the home. Columns should provide a plinth and should be proportional to the structures they support



Avoid

Timber elements applied to foreign styles don't feel right. Avoid using exposed timber as an afterthought decoration. The beige box with a timber entrance is still just a beige box.

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

c. Load bearing material (brick and stone) should touch the ground



Use

Load bearing material in a manner that makes structural sense. Heavy materials support lighter materials



Avoid

Using load bearing material (brick and stone) in a manner that defies gravity. Brick and stone should never appear to float in the air.

NVOD CODE

Wasatch County, Utah

d. Minimize the number of steps and gables on a building.



Use

Simplified rooflines are easier to build and look better than roofs with endless gables and steps. Gables should be used as a snow shedding and drainage management strategy. Apply gables to protect entrances and prevent snow from shedding on the walks and entrances AS WELL AS TO BREAK UP LARGE ROOF AREAS ON BIG BUILDINGS.

Consider the roof from the initial stages of designing the floor plan. The longer framers work on the roof, the more the house will cost.



Avoid

Over-application of gables as an ornamental feature. Consider the roof from the initial stages of designing the floor plan. The longer framers work on the roof, the more the house will cost.

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

- e. Minimize the prominence of front-loaded garages.



Use

In-line or recessed garage door placement to minimize attention being paid to the car. The main entry should be the most prominent feature on the front facade.



Avoid

Making the garage door the most prominent feature of the home with the main entry as the hidden afterthought. Garage forward architecture should be avoided.

NVOD CODE

Wasatch County, Utah

- f. Use vertically proportioned windows



Use

Vertically proportioned windows help break up facades and blank walls and allow additional light into the interior living space. If a horizontal expansion of glass is desired, this should be accomplished by incorporating multiple vertical windows side by side.



Avoid

- g. Avoid double-height entrances



Use

Single-height entrances correspond to the human scale and provide adequate protection from the elements.



Avoid

Double-height entrances create uncomfortable spatial volumes that don't relate to the human scale and feel structurally awkward.

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Wasatch County, Utah

8. ARCHITECTURAL STYLE

- a. The Craftsman style developed from the Arts and Crafts movement of the late 19th and early 20th centuries. This movement addressed design on many levels, from architecture to furniture and pottery. Proponents of the Arts and Crafts movement advocated a fully integrated approach to house design and furnishings, with a design philosophy based on simplicity, durability and harmony with nature. Special attention was given to the way pieces were joined together. A new structural expression was developed, including exposing beams, columns and joists. The Craftsman style flourished in the United States in the early 20th century, and was frequently applied to modest and small houses.
- i. The Craftsman style is characterized by simplicity, the expression of certain structural members, and attention to wood joinery, especially at porches. Craftsman homes feature moderate-pitched gable roofs with wide overhangs and large porches with substantial columns and bases.
- ii. The principal features of the Craftsman style are low- to moderate-pitched gable roofs with wide overhangs, exposed rafters at porches and, wherever feasible, generous porches with substantial columns and bases. Dormers are typical on 1½-story designs. Symmetry is optional and depends on the orientation of the principal roof.



Craftsman

- iii. Ornamentation is restrained. Details that are characteristic of the style include exposed rafter tails, tapered columns and trim elements, and diagonal knee braces at gable ends. Wall materials may include stone, brick, limited stucco (not to exceed 20% of facade), shingles, and siding (no vinyl).
- iv. The example on the previous page is one interpretation of the Craftsman style. There are many possible successful interpretations. All elements shown here, and described in this style, are not required on every building. Elements not listed are prohibited

CRAFTSMAN

Massing

- A side gable, center gable facing the street, or cross gable with dormers is typical for the primary roof form.
- One-story and 1½-story massing compositions are permitted, although 2-story compositions can also be acceptable.
- Dormers are typical in 1½-story designs.
- Emphasis should be on horizontal rather than vertical lines.

Roofs

- Low-sloping gable roofs with wide overhangs are typical.
- Shed or pitched dormers are common.
- Generously sized eaves with exposed decorative rafters are characteristic of the style, but not required.
- Main roof pitches: 6:12 to 8:12
- Secondary hip or shed roof pitches: 3:12 to 6:12
- Roof overhangs: 12 - 30 inches at rakes and eaves

Windows & Doors

- Individual windows are typically square or vertically oriented.
- Windows are often mullied together in pairs or threes.
- Double-hung windows with divided lites in upper sashes only, usually in a three-over-one configuration, are typical.
- Limited use of small accent windows and angled bays is encouraged.
- A single, rectilinear door is typical.
- Large lites in doors are common and are often divided to match the windows.
- Wide trim (5 to 6-inch) with head trim extending past the jamb is typical for doors and windows. Tapered

side trims are typical.

Porch / Entry

- Porches facing the street are common.
- Porch columns typically sit on wider bases or low walls.
- Tapered or double-columns with header and base details are common.

Details

- Expression of structural members and attention to wood joinery is characteristic of the style.
- Beams, knee braces, and brackets are often found at gable ends.
- Extended lintels over door and porch openings are common.
- Tapered elements, including trim work and columns, are common.

Minimum Required Elements

- Front porch that addresses the street, either full or partial-width (10' min. width, 5' min. depth)
- Square columns (tapered or straight)
- Stone or brick plinths
- Structural or Decorative beams or braces under gables
- Decorative trim (5 to 6-inch wide) around windows with emphasis on top and bottom (no stucco)
- Stone or brick on all facades (20% min.)
- Lap siding or batt and board siding (no vinyl) on all four sides of the structure
- Wide front door (42" min. width)
- Main roof pitches 6/12 to 8/12
- Wide eave overhangs (12" min.)
- Decorative garage door with small pane windows
- Front-loaded garage setback (3' min. behind front facade)
- Brick or stone to follow finished grade within 3"

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Wasatch County, Utah

EXAMPLES FOR VARIOUS INTERPRETATIONS OF THE CRAFTSMAN STYLE



NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

EXAMPLES FOR VARIOUS INTERPRETATIONS OF THE CRAFTSMAN STYLE



NVOD CODE

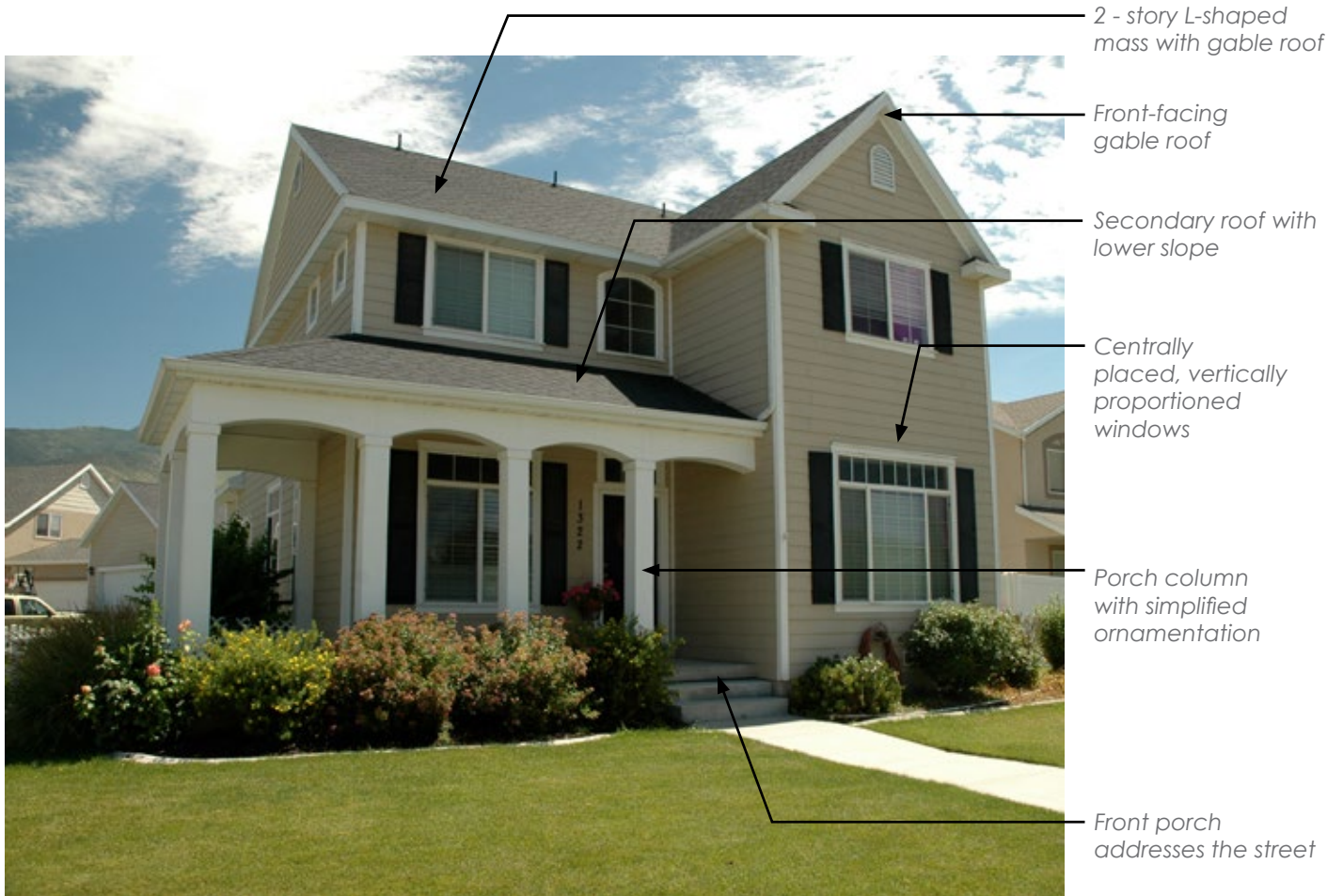
Wasatch County, Utah

8. ARCHITECTURAL STYLE

- b. The Farmhouse style is a contemporary interpretation of the Folk Victorian style that was prevalent in the United States from about 1860-1910. There were many regional applications of the Victorian style, as well as combinations of specific elements into eclectic compositions. Variations of the Victorian style include Richardsonian, Romanesque, Shingle, Queen Anne, and Folk. Folk Victorian has simpler forms and details than its counterparts.

The Folk Victorian style developed and flourished as railroads spread across the country, providing a steady supply of Victorian-style mill-work. Local builders and carpenters applied their skills based on their understanding of the Victorian style. Pattern books containing illustrations and details were sources of inspiration and instruction. The application of these stylistic principles to modest homes across the country resulted in Folk Victorian, with simplified forms and ornamentation applied chiefly to porches, gable ends and cornices.

- i. The Farmhouse style is characterized by a gable roof facing the street. The main gable may be combined with wings on one or two sides or emerge from a larger hip-roofed rectangular volume. A one-story porch should be provided and integrated into the front facade. Gable, hip, shed, or special dormers are employed to provide additional floor area, daylight, and architectural interest. Facade compositions should feature symmetrically placed, vertically proportioned, double or single-hung windows. Symmetry in the overall composition is optional.



Farmhouse

- ii. Detailing should be simplified. Ornamentation should be employed with restraint at porches, gable ends, and special features, such as bays. Appropriate wall materials may include horizontal lap siding and board and batten siding.
- iii. The example on the previous page is one interpretation of the Farmhouse style. There are many possible successful interpretations. All elements shown here, and described in this style, are not required on every building. Elements not listed are prohibited.

FARMHOUSE

Massing

- A front-facing gable without side wings is typical.
- Overall massing should be simple and emphasize vertical building elements.
- Projecting bays and low-sloping shed roofs are common.
- 1½ to 2-stories are typical, with a main level floor-to-ceiling height of 8 to 10 feet.

Roofs

- Gable roofs facing the street are typical.
- Use of shed or gable-end dormers is encouraged.
- The main gable is often intersected by other roofs.
- Main roof pitches: 6:12 to 12:12
- Secondary hip or shed roof pitches: 3:12 to 6:12
- Roof overhangs: 6 to 12 inches

Windows & Doors

- Vertically proportioned double and single-hung windows are typical.
- Individual or paired window treatments are common.
- Square and angled bay window treatments are common.
- Wide (4 to 6-inch) exterior trim and cap moldings on windows and doors are typical.
- Limited use of multi-pane sashes with divided lites is encouraged and may occur in both sashes in the following configurations: one-over-one, two-over-one, two-over-two, four-square-grid-over-one, and four-square-grid-over-four-square-grid.
- Lites in doors are common and often express ornamentation.

Porch / Entry

- Street-facing, one-story porches are common. Wraparound porches are encouraged at corner lots.
- Porch roofs are typically forward-facing shed or hip.

- Porches may have exposed wood and metal elements.
- Square columns (at least 6x6) or round columns (at least 6 inches) are typical.
- Railings may be turned or square balusters or steel.

Detail Elements

- Detailing is simplified and ornamentation is restrained.
- Exposed structural elements on porches are typical.
- Any exposed concrete foundation must be clad with stone or brick.
- Ogee or half-round gutters are common.
- Board & batten wainscoting (in courser spacing) is recommended.
- Square or more detailed moldings along rakes are common.

Minimum Required Elements

- Covered porch with support columns that have a base, shaft, and capitol
- Vertically-oriented windows
- Decorative trim (5 to 6-inch wide) around windows with emphasis on top and bottom (no stucco)
- Decorative garage door with small pane windows
- Wide front door (42" min. width)
- Full width covered front porch that addresses the street (Porch for single family homes shall span the width of the habitable area of the house.)
- Lap siding or batt and board siding (no vinyl) on all four sides of the structure
- Multifamily structures shall incorporate stone or brick on the ground floor (10% min. on each elevation)
- Front-loaded garage setback (3' min. behind front facade)
- Brick or stone to follow finished grade within 3"

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EXAMPLES FOR VARIOUS INTERPRETATIONS OF THE FARMHOUSE STYLE



NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

EXAMPLES FOR VARIOUS INTERPRETATIONS OF THE FARMHOUSE STYLE



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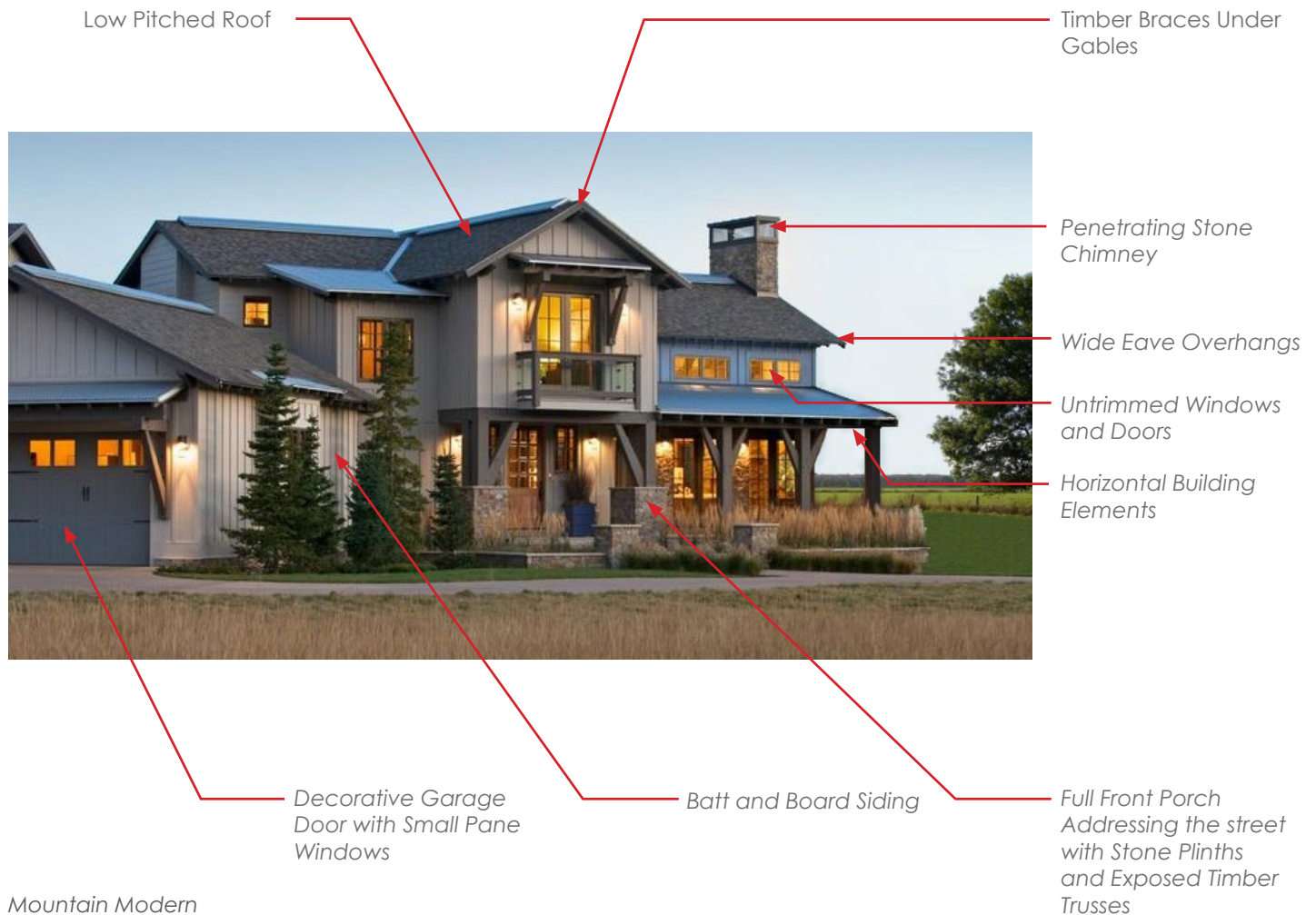
EXAMPLES FOR VARIOUS INTERPRETATIONS OF THE FARMHOUSE STYLE



8. ARCHITECTURAL STYLE

- c. The mountain style is a contextual expression of the modern architecture movement appropriate to a non-urbanized environment. Building on the traditional rustic expressions of cabins, lodges and chalets. Mountain homes have a simplicity of form, incorporating the use of rustic materials including timber, stone, and metal into a structure that uses large expanses of glass to bring views of nature into the structure thereby tying the interior and exterior environments together in a unified architectural expression that is uniquely tied to its location. An emphasis on the location and ensuring that it contextually fits with the environment are important elements of this style. Color palates and materials should take this in to account.

- i. The Mountain style characterized by a pitched or that is capable of withstanding heavy snow loads. The main roof pitch often extends over deck and patio areas to provide additional climatic protection over adjacent decks or patios. Roof planes over the entry patio or courtyard are typical of the front facade. Facade compositions should feature dominant, expanses of glazing with wide roof overhangs providing protection from solar exposure. Simplified building forms should accentuate horizontal elements with vertical stone or concrete elements penetrating the roof plane.
- ii. Detailing should be simplified. Ornamentation should be employed with restraint at porches, entries and decks. Appropriate wall materials may include stone or natural wood siding.
- iii. Lighting should be wall sconces with hidden light sources or eave mounted down lighting.



MOUNTAIN

Massing

- Simple geometric forms.
- Overall massing should be simple and emphasize horizontal building elements.
- Pitched roofs are common.
- One and two-stories are typical, with a main level floor-to-ceiling height of 10 to 14 feet.

Roofs

- Single-pitched roofs dominate.
- The main roof is often penetrated by stone chimneys, often represented as oversized massing elements.
- Roof overhangs extending the roof coverage to patios and decks are typical.

Windows & Doors

- Large expanses of floor to ceiling glass are typical.
- Sliding doors that extend the interior space outward onto decks and patios are typical.
- Untrimmed windows and doors that incorporate the glazed element into the exterior wall plane as an extension of the dominant plane are typical.

Porch / Entry

- Street-facing, or side turned one and two-story entry decks are common. Walled entry courtyards are common.
- Entries often utilize detailed expressions of exposed wood, stone and metal siding elements.
- Entries should have pitched or sloped roofs that can be a separate roof line from the main ridges.

Detail Elements

- Detailing is simplified and ornamentation is restrained.
- Exposed structural elements are typical.
- Hidden gutters that are integrated into the roof structure are common. Downspouts are often included as "rain-chains" that funnel the runoff into a ground level pond or stream element.
- Detailing is often based on rustic or craftsman elements typical to the local area.

Minimum Required Elements

- Front porch that addresses the street, either full or partial-width (10' min. width, 5' min. depth) that incorporates timber columns with stone plinths and timber trusses that reflect the internal structure of the building
- Timber beams or braces under gables
- Stone on front facade (20% min)
- Lap siding or batt and board siding (no vinyl) on all four sides of the structure
- Wide eave overhangs (24" min.)
- Decorative garage door with small pane windows
- Front-loaded garage setback (3' min. behind front facade)

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

EXAMPLES FOR VARIOUS INTERPRETATIONS OF THE MOUNTAIN STYLE



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EXAMPLES FOR VARIOUS INTERPRETATIONS OF THE MOUNTAIN STYLE



NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

9. NON-RESIDENTIAL ARCHITECTURAL MATERIALS

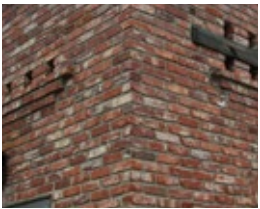
a. The following are the acceptable predominant materials for non-residential development



Stone



Lap Siding
(No Vinyl)



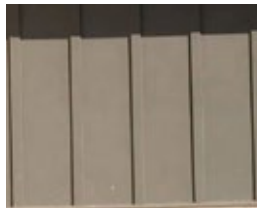
Brick



Metal Panels



Timber



Batt and Board Siding
(No Vinyl)



Concrete

- Stone or brick should make up at least 20% of the building.
- Metal panels and concrete can make up no more than 30% of the building.
- Exceptions to these requirements can be requested through a conditional use application to the Wasatch County Planning Commission.

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Wasatch County, Utah

10. NON-RESIDENTIAL ARCHITECTURAL COMPOSITION GUIDELINES

- a. Building Massing
 - i. Two and three-story building masses next to the street create a streetwall that frames the streetscape, improving the pedestrian experience.
 - ii. Building masses are greater at areas with more pedestrians, such as street corners
 - iii. Building masses frequently defined by a discernible base, shaft and capital
 - iv. Load-bearing materials should touch the ground

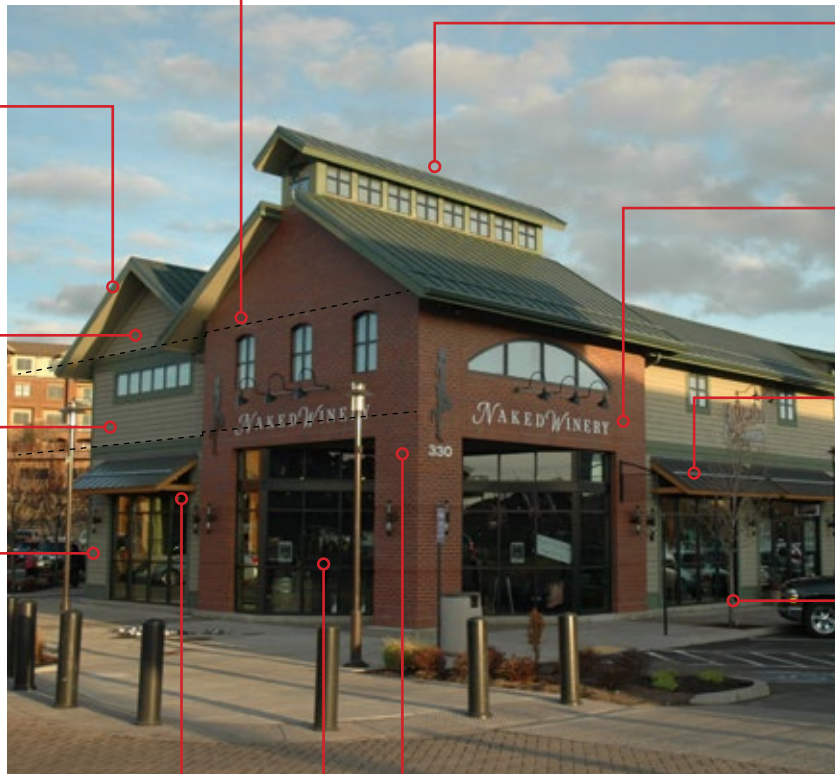
Upper Story Windows.
Vertically oriented upper-story windows to allow light into habitable spaces

Wide Eaves and Gable Ends. Wide eaves on pitched roofs with gable ends provide architectural capital element

Capital

Shaft

Base



Roof Accents. Specialized roof accents including dormers, cupolas, towers, etc.

Sign Band. Decorative sign band colorfully identifies the business and horizontally divides base from shaft.

Structural Bays. Structural bays composed by individual storefront windows and awnings

Street trees. Formal rows of columnar trees project an urban image

Building Massing.
Prominent corner accentuated by load bearing material and slight shift toward foreground

Storefront Windows.
Storefront windows provide ample interior lighting while displaying merchandise to pedestrians

Building Materials.
A combination of compatible building materials including lap siding, brick, timber, and metal panels

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

b. Roof Form

- i. Predominant roof shapes should be slightly pitched with gable ends where appropriate, with limited use of flat roof elements to provide breaks in facade type and/or add visual interest.
- ii. Roof pitches should be typically low (4:12-8:12)
- iii. Moderate overhangs up to 3 feet should be supported by substantial dimensional timber corbels that define the top of the building



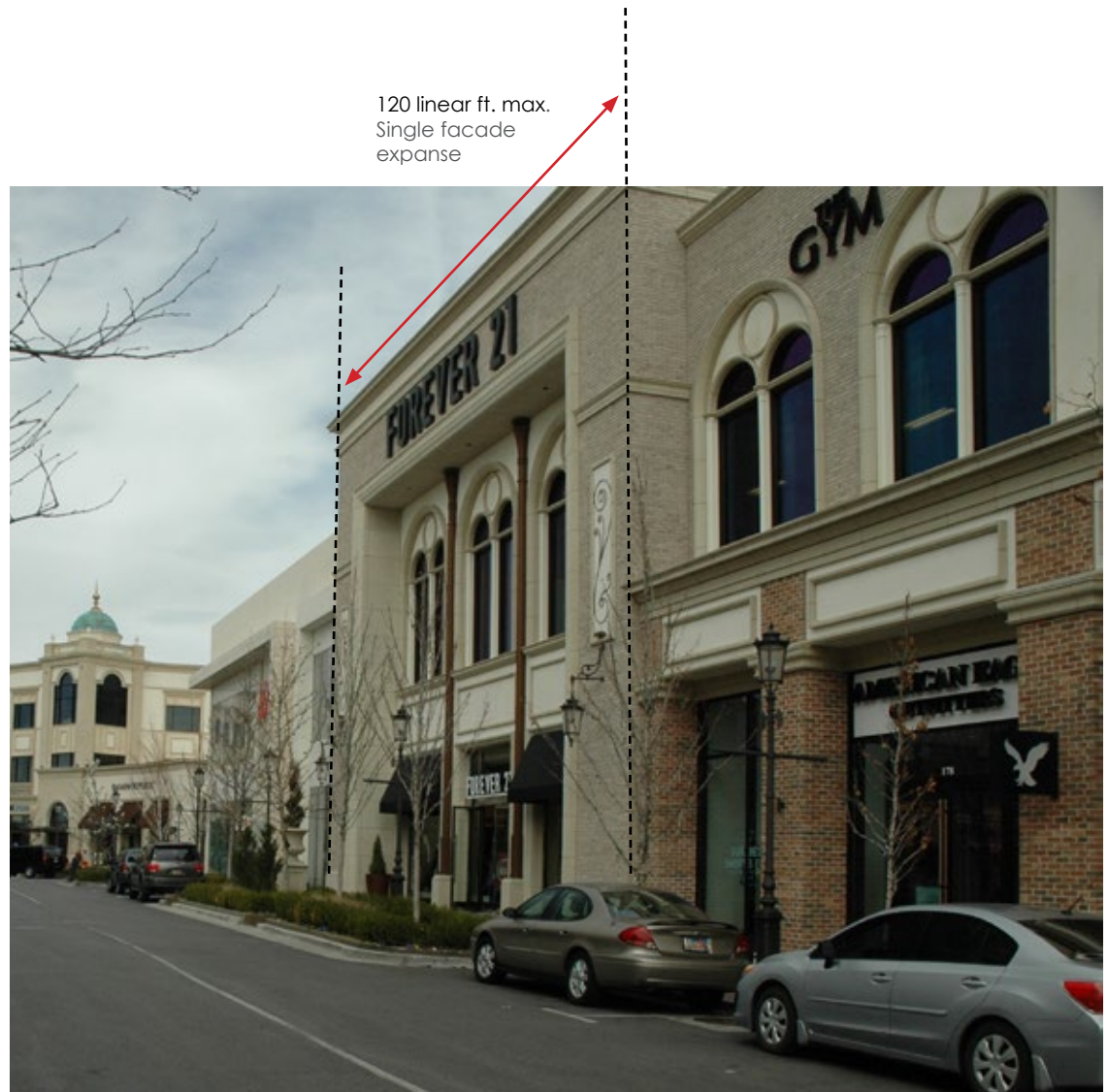
Roof Accents. Specialized roof accents including dormers, cupolas, towers, etc.

On-Street Dining. Take advantage of alcoves and courtyards for on-street dining opportunities.

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Wasatch County, Utah

- c. Arcades and Storefront Structural Bays
 - i. Storefront structural bays are commonly orchestrated to appear as phased construction over a long period of time
 - ii. Substantial structural bays should be composed of vertically oriented piers and horizontal spandrels with intervening storefront windows
 - iii. Ground-floor storefronts should be very different from upper-story facades with windows scaled and oriented for pedestrian interest
 - iv. Arcades are encouraged as semi-public spaces between the street and storefront, sheltering pedestrians from the elements
 - v. Multiple storefronts with separate storefront windows can be massed together within a single facade expanse with the same architectural style. The maximum length of a single facade expanse is 120 feet



NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

ARCHITECTURAL EXAMPLES FOR VARIOUS COMMERCIAL USES



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ARCHITECTURAL EXAMPLES FOR VARIOUS COMMERCIAL USES



NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

ARCHITECTURAL EXAMPLES FOR VARIOUS COMMERCIAL USES



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ARCHITECTURAL EXAMPLES FOR VARIOUS COMMERCIAL USES



NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

TABLE 8 - STYLE MATRIX

PRODUCT TYPES	STYLES		
	Craftsman	Farmhouse	Mountain Modern
Single Family	○	○	○
Multi Family	○	○	○
Retail	○	○	○
Office	○	○	○
Research and Development	○	○	○
Civic	○	○	○

○ Indicates permitted style

TABLE 9 - MATERIAL MATRIX

MATERIALS	STYLES		
	Craftsman	Farmhouse	Mountain Modern
Stucco (20% max.)	○		
Siding (Lap, Batt & Board, Shingle. No vinyl)	○	○	○
Corrugated Galvanized Metal Siding			○
Stone (Cultured Stone or Similar)	○	○	○
Brick	○	○	○
Architectural Asphalt Shingles	○	○	○
Metal Roof		○	○
Aluminum Soffit and Facia	○	○	○
Vinyl Windows	○	○	○

○ Indicates permitted material

Note: Other building materials or treatments not on this list are not permitted.

SECTION V - OPEN SPACE, TRAILS AND CONNECTIVITY

1. This section establishes the design standards of Community Space. These standards include general character, typical size, frontage requirements, and typical uses. **This section shall override Title 16 of the Wasatch County Code** which is hereby inapplicable to the subject property; except for trail design which shall be regulated by Title 16
2. The following objectives shall be implemented in the design and construction of required community spaces and trails, which shall be designed according to these typologies and design standards:
 - a. Integrated into neighborhoods
 - b. Activating the built environment in a way that promotes activities in key locations and promote economic vibrancy.
 - c. Accessible by walking and cycling
 - d. Connecting adjacent neighborhoods
3. These standards are used to coordinate the style of design appropriate to the context within each Transect Zone. Table 2 above establishes the Community Space type and their appropriate Transect Zone.

PLAZA



A plaza is an urbanized public Community Space that offers abundant opportunities for civic gathering. Plazas add to the vibrancy of streets within the more urban, higher intensity zones. They create formal Community Spaces available for civic purposes and commercial activity. Building frontages shall define these spaces.

The landscape should have a balance of hardscape and planting. Various types of seating should be provided from planter seat walls, to steps, benches, tables, and chairs. Trees should be provided for shade. They should be formally arranged and of appropriate scale. Plazas typically should be located at the intersection of important streets or adjacent to significant buildings. A minimum of one public street frontage shall be required for plazas.

Typical Uses:

Commercial and civic uses, formal and casual seating, tables and chairs for outdoor dining, retail and food kiosks.

TYPICAL CHARACTERISTICS

GENERAL CHARACTER

- Formal Community Space
- A balance of hardscape and planting
- Trees important for shade
- Spatially defined by building frontages

LOCATION AND SIZE

- 0.1 – 1 acre
- Min. width – 30 ft.
- Min. pervious cover – 20%
- Min. perimeter frontage on public right of way – 25%
- Located at important intersections, at vista termini, or at entrances to public/civic buildings

REQUIRED SPACING

- All non-residential developments greater than 4 acres within T5 and T6 shall contain a plaza or a square

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Wasatch County, Utah

SQUARE



A square is a public Community Space available for civic purposes, commercial activity, unstructured recreation and other passive uses. The square should have an urban, formal character and be defined by the surrounding building frontages and adjacent tree-lined streets. All buildings adjacent to the square shall front onto the square. Adjacent streets shall be lined with appropriately scaled trees that help to define the square.

The landscape shall consist of lawns, trees, and shrubs planted in formal patterns and furnished with paths and benches. Shaded areas for seating should be provided. A civic element or small structure such as an open shelter, pergola, monument or fountain may be provided within the square.

Typical Uses:

Unstructured and passive recreation - no organized sports, community gathering, occasional commercial and civic uses.

TYPICAL CHARACTERISTICS

GENERAL CHARACTER

- Formal Community Space
- Spatially defined by buildings and tree-lined streets.
- Open shelters, paths, lawns, and trees formally arranged
- Walkways and plantings at all edges
- Abundant seating opportunities

LOCATION AND SIZE

- 0.25 – 4 acres
- Min. width – 45 ft.
- Min. pervious cover – 60%
- Min. perimeter frontage on public right of way – 60%
- Located at important intersections

REQUIRED SPACING

All non-residential developments greater than 4 acres within T5 and T6 shall contain a plaza or a square

COURTYARD



A courtyard is an developed space that offers a variety of opportunities for public, semi-public and private gatherings. Courtyards provide a more intimate spacial experience apart from the streets within the more urban, higher intensity zones. They can be formal, paved spaces framed by buildings or restful, garden spaces that can be experienced visually from within building spaces such as offices, retail shops or residences. Building frontages, walls or fences shall define these spaces.

The landscape may have a balance of hardscape and planting or be dominated by either type of surface dependent upon location and expected use patterns. Seating can be provided including planter seat walls, steps, benches, or movable tables and chairs. Shade should be provided during the day and heating units can be utilized to extend the seasonal use for gatherings or dining. They should be formally arranged and of appropriate scale. No requirement for street frontage shall be placed on the design or use of courtyards. Private maintenance is required for these spaces.

Typical Uses:

Passive recreation, small gatherings, dining, intimate community or commercial gathering, public, and private or commercial uses.

TYPICAL CHARACTERISTICS

GENERAL CHARACTER

- Formal or informal intimate space
- Spatially defined by buildings, walls, fences or hedge plantings
- Paved surfaces or plantings can share or dominate the space
- Public or private, physical or visual access
- Variety of seating opportunities

STANDARDS

- 600 SF - 6000 SF
- Min. width - 24ft.
- Min. pervious cover - 20%
- No minimum perimeter frontage on public right of way required
- Locations supported by adjacent use pattern

REQUIRED SPACING

All residential developments with more than 75 attached units shall contain a courtyard, green, or pocket park.

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Wasatch County, Utah

GREEN



A Green is a public urban Community Space available for civic purposes, commercial activity, unstructured recreation and other passive uses. Greens shall primarily be naturally landscaped with many shaded places to sit. Open lawn areas shall encourage civic gathering. Appropriate paths, civic elements, fountains or open shelters may be included and shall be formally placed within the Green.

A Green shall be adjacent to a public right of way and be spatially defined by buildings which shall front onto and activate this space.

Typical Uses:

Unstructured recreation, casual seating, commercial and civic uses, and no organized sports.

TYPICAL CHARACTERISTICS

GENERAL CHARACTER

- Community Space
- Spatially defined by street and building front-ages and landscaping
- Lawns, trees and shrubs naturally disposed
- Open shelters and paths formally disposed

LOCATION AND SIZE

- 0.25 – 2 acres
- Min. width – 45 ft.
- Min. pervious cover – 80%
- Min. perimeter frontage on public right of way – 50%

REQUIRED SPACING

All residential developments with more than 75 attached units shall contain a courtyard, green, or pocket park.

POCKET PARK



Small and frequently dispersed throughout the community, these infill spaces support passive recreation that ensures walkable green space access for everyone within the immediate neighborhood.

Pocket parks may contain specialized facilities that serve a specific demographic or limited population or group such as tots, pets or senior citizens. Thematic elements and uses may be determined by the needs of the target demographic or the nature of the location within the community.

Pocket Parks must be fully developed and maintained as finished recreational open spaces. Native landscapes and natural areas or elements do not constitute a Pocket Park.

Pocket Parks shall be adjacent to a public right of way and shall be bordered on at least three sides (or 75 percent) of their perimeter) by the front (entry) facades of building. The building facades may front directly to the space or may front onto public thoroughfares which border the space.

Typical Uses:

Passive recreation, tot lots, playgrounds, small gatherings, formal and casual seating, pedestrian connection and access, and no organized sports.

TYPICAL CHARACTERISTICS

GENERAL CHARACTER

A small public park oriented towards local usage and incorporating a short trail, loop, and occasionally a playground.

LOCATION AND SIZE

20,000 SF to 1 acre

SERVICE AREA

1/4 mile radius

REQUIRED SPACING

Each residential unit must be within 1/2 mile of a pocket park or park. Pocket Parks shall have direct access to sidewalks, multi-use paths, or trails.

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Wasatch County, Utah

PARK



The park remains the basic unit of the local park system and serves as the recreational and social focus of the neighborhood. The focus is on informal active and passive recreation. The park should be centrally located within the neighborhood and may function as the recreational hub of adjacent neighborhoods. These parks are frequently developed adjacent to civic uses such as an elementary school.

Parks should be connected to the greater community environs through multi-use pathways or trails.

Parks shall be adjacent to a public right of way on at least one side, with a minimum of 25 percent of the total park perimeter on a street.

Typical Uses:

Active and passive recreation, tot lots, playgrounds, formal and casual seating, pedestrian connection and access, dining, and community gathering.

TYPICAL CHARACTERISTICS

GENERAL CHARACTER

A typical park situated within a development and typically incorporating a playground or other active recreation facilities.

LOCATION AND SIZE

3 to 10 acres

SERVICE AREA

1/2 mile to 1 mile radius

REQUIRED SPACING

Each residential unit must be within 1/2 mile of a pocket park or park. Parks shall have direct access to sidewalks, multi-use paths, or trails.

COMMUNITY GARDEN



Space programmed specifically for gardening. Located in the center of a neighborhood to provide convenient and safe access. Often times, community gardens may be included in pocket parks and parks. They are a valued asset in urban areas where residential yards are rare.

Community orchards and vineyards may also be included in this category of open spaces as long as they are operated as a non-profit organization that provides produce to the local community and they are not a commercial, agricultural use.

Appropriate irrigation sources must be provided and the garden must be locally managed and maintained. Seasonal farmer's markets may occur in these spaces.

Typical Uses:

Passive recreation, community garden, casual seating, pedestrian connection and access, and community gathering.

TYPICAL CHARACTERISTICS

GENERAL CHARACTER

Small public, urban Community Space responding to specific user groups and space available within a development

LOCATION AND SIZE

Appropriate to Neighborhood context.

SERVICE AREA

1/8 to 1/2 mile radius depending on location and scale.

REQUIRED SPACING

One community garden per 350 units in T4, T5, and T6

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Wasatch County, Utah

SPECIAL USE



Covers a broad range of parks and recreation facilities oriented toward single-purpose uses. Special uses generally fall into three categories: Historic/Cultural/Social Sites (ex. Historic areas, performing arts parks, arboretums, ornamental gardens, indoor theaters, churches, public buildings and amphitheaters). Recreation facilities (i.e., either specialized or single-purpose facilities) fall into this category; for example, community centers, senior centers, hockey arenas, golf courses, skate and water parks. Frequently, community buildings and recreational facilities are located within parks.

Uses such as skate parks, pools and splash pads will require site specific approvals by County staff and Planning Commission to ensure compatibility with adjacent uses and compliance with health and safety codes.

Typical Uses:
See above.

TYPICAL CHARACTERISTICS	
GENERAL CHARACTER	Locations of significance for the development. This includes monument locations, park facilities or heritage sites.
LOCATION AND SIZE	Varies
SERVICE AREA	Varies
REQUIRED SPACING	N/A

PASEO



Pedestrian passages or paseos are linear public urban Community Spaces that connect one street to another at through-block locations. Pedestrian passages create intimate linkages through buildings at designated locations. These wide pathways may provide direct pedestrian access to residential or other commercial addresses and create unique spaces for frontages to engage and enter off of. Pedestrian passages allow for social and commercial activity to spill into the public realm.

Pedestrian passages should consist of a hardscape pathway activated by building entries and exterior stairways. The edges may simply be landscaped with accent planting and potted plants.

Paseos may also be used to connect cul-de-sac and dead-end streets to surrounding neighborhoods and roadways. All Paseo spaces must be open and connective to public paths or thoroughfares at both ends of the corridor.

Typical Uses:

Pedestrian connection and access, and formal and casual seating.

TYPICAL CHARACTERISTICS

GENERAL CHARACTER

- Hardscape pathway
- Defined by building frontages
- Frequent side entries and frontages
- Pedestrian scaled
- Accent planting and potted plants
- Maintain the character of surrounding buildings

STANDARDS

Min. Width 15 ft.

REQUIRED SPACING

N/A

NVOD CODE

Wasatch County, Utah

MULTI-USE PATH



A multi-use path is an improved linear public transportation and recreation corridor that accommodates two or more users on the same, undivided pathway. Trail users could include pedestrians, bicyclists, skaters, etc. A multi-use path frequently provides an important place for active recreation and creates a connection to regional paths and biking trails.

Multi-use paths within urbanized zones or parks shall be clearly defined with refined paving materials that provide for safe use and low maintenance.

Pedestrian amenities add to recreational opportunities, particularly in an urban setting. These include drinking fountains, scenic view points, fitness stations, and directional signs. These elements may be spread along the pathway or grouped in high use areas.

Paths shall align with current Community plans, if identified, as a section of that wider area plan or transportation network.

Typical Uses:

Active and passive recreation, casual seating, and commuting.

TYPICAL CHARACTERISTICS

GENERAL CHARACTER

MULTI-USE PATH:

- Solid-surface paving
- Refined, well-maintained landscape patterns
- Trees providing areas of shade
- Appropriate lighting levels for safety

Amenities including pedestrian furniture, maintained landscaping and lighting

MULTI-USE TRAIL ALONG ROADS:

Paved pathway with occasional gathering spaces, connections and user amenities

STANDARDS

Min. width 10 ft. IMBA standard in Title 16

REQUIRED SPACING

Required in all drainage corridors, canal corridors, and along Highway 40 in T4, T5, and T6.

TRAIL



A trail is an unimproved, or semi-improved, linear public transportation and recreation corridor that traverses more natural areas or connecting corridors between zones. Trail users could include pedestrians and bicyclists. A trail provides an important place for active recreation and serves as the backbone for regional pedestrian and biking connectivity.

Trails within greenways or canal corridors shall be naturally disposed with low impact surface materials so there is minimal impact to the existing canal, creek bed and landscape.

Pedestrian amenities can add to recreational opportunities, particularly in key locations and at intersections with other transportation networks. These can include drinking fountains, scenic view points, fitness stations, and directional signs. These elements may be spread along the pathway or grouped in key areas.

Trails shall align with current Community plans, if identified, as a section of that wider area plan or transportation network.

Typical Uses:

Active and passive recreation, trail heads with casual seating.

TYPICAL CHARACTERISTICS

GENERAL CHARACTER

TRAILS:

Naturally disposed landscape

Low impact, soft-surfaced paving

Natural landscaping

Appropriately lit for safety at key locations

Cleared and stabilized surfaces with no standing water present

TRAIL ALONG ROADS:

Soft-surfaced trail with view spots and occasional user focused facilities.

STANDARDS

Min. clear surface width 6 ft. IMBA standard in Title 16

REQUIRED SPACING

Required in all drainage corridors in T1 and T2.

NVOD CODE

Wasatch County, Utah

STREAM CHANNEL OR CANAL



Linear space defined by a waterway. The space should serve as a pedestrian connection or recreational opportunity, enhancing adjacent property values (waterfront property).

It can serve as a secondary connection to a greenway.

Paths and trails that parallel a water course may also serve as maintenance easements.

Typical Uses:

Canal, trail system, and casual seating.

TYPICAL CHARACTERISTICS

GENERAL CHARACTER

Trails or paths along the waterway or channel can be for pedestrian or bicycle connectivity. Buildings can front the waterway or channel in order to frame the waterway or channel as an amenity for development.

SIZE

Typically less than 100 ft. in width; length varies

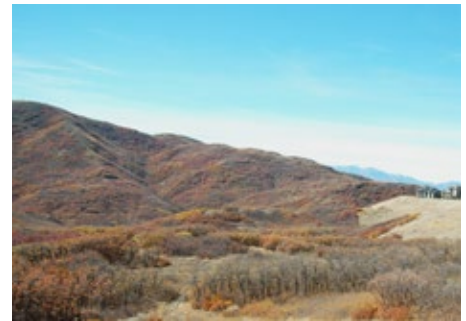
SERVICE AREA

Varies - Use of the corridor may require permission of the owner or agency with jurisdiction.

REQUIRED SPACING

N/A

NATURAL OPEN SPACE



Natural open space areas may occur at the edges of the Neighborhood Rural transect zone. These may be areas of hillsides, forests or rangelands that lie outside of the development limits of the overlay district.

Selection of an area for preservation may not be required by legislation or ordinance. Areas set aside for preservation may be preserved through formal Open Space or Preservations Easements or by definition within the Development Agreement.

Trails may occur in these areas with low impact paving materials so there is minimal impact to the existing landform and vegetated patterns.

Developed trail heads at key locations may contain parking and other facilities to support recreational opportunities within the greater open space network.

Typical Uses:

Passive recreation, preservation, and community buffer.

TYPICAL CHARACTERISTICS

GENERAL CHARACTER

Naturally disposed landscapes

Low impact soft-surfaced trails

TRAIL HEADS:

Developed trail heads with parking and user facilities may be located at key access points.

STANDARDS

Varies as to size and location as defined in Title 16

REQUIRED SPACING

N/A

NVOD CODE

Wasatch County, Utah

SENSITIVE LANDS



Sensitive Lands contain characteristics that can influence or limit development patterns through physical or regulatory restrictions. The types of lands represented in this typology may include steep slopes, wetlands, stream corridors, ridgelines, and unique vegetation patterns.

Soils and geotechnical considerations, such as fault lines and depth to bedrock may also be factors to consider when determining the extent of sensitive lands.

Non-physical, locational characteristics, such as critical viewsheds and highway corridor buffers, may also be factors that determine the extent of sensitive land designations within the planning area.

Additional elements may relate to historic or culturally significant landforms or existing development patterns or structures.

Preservation of these areas in a natural state may be based on regulatory controls, cost controls or amenity based strategies.

Typical Uses:

Active and or passive recreation and preservation.

TYPICAL CHARACTERISTICS	
GENERAL CHARACTER	
SENSITIVE LANDS:	
	Naturally disposed landscape patterns
	Severe slopes
	Drainage corridors
	Critical soils and/or geologic conditions
	Culturally significant elements or landforms
STANDARDS	
	Variable based on type and location
REQUIRED SPACING	
	N/A

11. Signs

a. Scope

1. This section will provide standards for signage in terms of compatibility with surroundings and promotion of functional and attractive streetscapes.
2. The regulations contained herein are declared to be the maximum allowable for the purposes set forth. If the community development/planning director determines that an application needs further interpretation, he/she may request planning commission review of a proposal. See the Wasatch County sign ordinance for information on the application process.

b. Scoring

1. Scoring For Base Density: Due to the extensive detail of requirements in this section and reliance on materials and components to achieve good quality, with one hundred percent (100%) of standards (defined as "shall" statements) fully achieved, the project meets the requirements of this section.
2. Scoring For Bonus Density: With one hundred percent (100%) achievement as a basis for earning bonus density credit for each sign condition, improving material and component quality increases credits gained. Moderate improvements for any sign conditions earn one-half (1/2) (50 %) of that available ERU number. Extensive improvements earn all (100 percent) of that available ERU number. Higher performance on configuration and technique will also be factored.

c. General Conditions; All Signs

1. Materials: All signs must be constructed out of high quality, durable, weather resistant, permanent materials. Exceptions: temporary signs (see temporary signs described in this section).
2. Message: Wall signs shall be the primary form of identification for a building or business.
3. Overall Composition: Signs within a small development grouping (a courtyard or short promenade) and a large building group (such as student residences) shall be constructed with complementary styles and methods of construction (i.e., single pan channel letters, awning, etc.) along a combined building frontage.
4. Location:
 - i. Horizontal: All signs shall be a minimum horizontal distance of three feet (3') from the public right of way. All freestanding signs shall be at least their height in distance from an adjoining side property line.
 - ii. Vertical: All exterior building attached signs shall be a minimum vertical distance of eight feet (8') from grade to their lowest point. Signs which exceed three feet (3') in height from grade may not be placed within the sixty foot (60') "sight line" triangle of motorists. (Sight line: Measured by intersecting lines parallel to the street edge; finding the intersecting point; measuring back 60 feet in each direction and completing the triangle from those measurements).
5. Variances And Interpretation: If there is a question of interpretation within the sign portion of this code, the planning director/community development director may interpret. If the applicant does not agree with the director's interpretation, the applicant may request an appeal to the board of adjustment for a variance.
6. Supports/Poles: All supporting objects, poles, and any other means of attaching a sign any where (wall, earth, facade, etc.) shall be minimized or concealed so it is not visible, nor compete with architectural features of its related building. Supports and poles shall be compatible with their context and of high quality.
7. Maintenance: Every sign shall be kept attractive and in complete operating condition. The required landscape area for freestanding signs shall be kept free from weeds, garbage and

NVOD CODE

Wasatch County, Utah

debris, and shall be maintained with a mix of evergreen and deciduous shrubs, as well as flowers. Maintenance includes the repair of facades where signs have been removed; and the painting, cleaning and repairing of a sign. Maintenance does not include structural alterations, cosmetic or style changes, enlargements or face changes.

8. Traffic Safety: No sign or other advertising structure shall be erected which in any manner may be confused with an official traffic sign or signal, or which bears words normally used in such signs, i.e., stop, go, slow down, caution, danger, warning, etc. A sign or advertising structure shall not be erected which by reason of size, location, shape, content, coloring or manner of illumination might be confused as a traffic control device. No sign shall have lighting which impairs the vision of anyone traveling upon a public street, or distracts a driver so as to create a public nuisance or endangerment.
9. Prohibited Conditions:
 - i. Hot or cold air balloons, inflatables, flashing or blinking signs, chaser lights, laser beams, animated signs.
 - ii. Statuary used for signage (not including artistic statuary). Statuary of extremely high quality and material may be approved by the director in exceptional circumstances.
 - iii. Pole, pylon or billboard signs are prohibited when over eight feet (8') in height.
 - iv. Signs within the public right of way. Exception: banners located on streetlights.
 - v. Signs projecting above the roof eave or cornice, roof signs and temporary signs (that are not listed in this code).
 - vi. No sign shall extend over to interface with a pedestrian or vehicular access area; interfere with a fire escape, exit, stairway, door ventilator or window; be located within a power line easement.
 - vii. Neon lighting or neon signage shall not be employed so as to accentuate the outline of a building.

TABLE 11.1 - GENERAL CONDITIONS

Sign Type	Height and Width	Amount and/or Location
Directional or instructional	4'0' maximum height and 4 sq. ft. maximum size	3 per (final) ownership parcel
No trespassing or no dumping	4'0' maximum height and 4 sq. ft. maximum size	4 signs per ownership parcel
Plaques, nameplate signs, identification or commemorative plaques.	Maximum size of 2 sq. ft.	4 signs per ownership parcel
Symbols or insignia, religious symbols, identification emblems or orders.	Maximum size of 8 sq. ft.	4 signs per ownership parcel
Neighborhood identification signs: Walls, signs, landscaping or similar objects. (May only contain neighborhood name and/or address.)	Maximum size of area attributable to lettering, graphics or text: 12 sq. ft.	4 signs per ownership parcel
Institutional: Religious, public buildings, public service entities.	Maximum size of 8 sq. ft.	1 monument sign per ownership parcel
Flags: Flags, emblems, or insignia of any nation or political party.	No limit. Size may not create a noise nuisance.	No limit
Public necessity signs: Installed by a unit of government for traffic safety or other regulatory purposes.	No limit	No limit

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

Memorial signs: Memorial signs with names of buildings and date of ground breaking cut into masonry or inlaid as part of the building.	No limit	No limit
Notice bulletin boards: For medical, charitable, religious or public institutions.	Maximum size of 24 sq. ft.	1
Holiday decorations: Noncommercial signs of a decorative nature, clearly incidental and commonly associated with the appropriate national, local, or religious holiday.	No limit. Must be completely on site with the building or ownership sponsoring/constructing the sign.	No limit.
Changing copy: The changing of a message on a previously approved marquee, reader board, electronic message center, etc.	Size determined by the previously approved and existing sign(s).	Number determined by previously approved sign(s).
Political signs: Political or campaign signs on behalf of candidates for public office or measures on ballots.	Maximum height of 8'. Maximum size of 48 sq. ft.	No limit
On premises (commercial) real estate: Any sign used to advertise the sale, development, or lease of an individual property.	Maximum height of 8', maximum size of 8 sq. ft., and subject to other conditions of title 16.	1. The sign shall not be located in the public right of way. Signs may be placed 1 month prior to construction, and shall be removed 1 month after final occupation of buildings in the project, or after 5 years, whichever comes first.
Off premises real estate: Any sign used to advertise the sale, development, or lease of an individual property.		3 (maximum), if allowed by county regulation.
Home Occupation	Maximum size of 4 sq. ft.	1

NVOD CODE

Wasatch County, Utah

TABLE 11.2 - BUILDING SIGNS		
Sign Type	Configuration	Technique
<p>Number:</p> <p>Shopfront: 2 signs; 1 parallel and 1 perpendicular.</p> <p>Freestanding building: 2 signs; primary wall: 1 wall sign (15%) or other type as described below; secondary wall: 1 wall sign (5%) or other type as described below.</p> <p>Additional: 1 suspended (if arcade building type) per business.</p>	<p>Height and width, wall sign: 15% of facade (primary wall), 5% of facade (secondary wall). An applicant may apply for a conditional use permit to allow an additional wall sign on the third and fourth wall (5% maximum - of each facade).</p> <p>Height and width, perpendicular sign: See perpendicular/suspended signs below.</p>	<p>Composition: Wall signs may not project above, or be mounted above the eave or roof line, whichever is lower.</p> <p>Lighting: Internal illumination is prohibited. Backlighting is prohibited unless the letters or figures of the sign are freestanding (from each other), modest in scale, and appearing to be cut or aligned in the same plane.</p>
<p>Parallel/attached signs: Shall be complementary to the building material and color, with differences in material or finish to be minor, i.e., not jarring or competitive.</p>	<p>Height and width: One-dimension (depending on vertical or horizontal orientation) shall not exceed 2'6". All object, bands, background of any kind used for the benefit of the sign (unless a distinct architectural feature) will be used to calculate the dimension.</p>	<p>Composition: Buildings shall not have roof lines or false facades primarily designed to emphasize overly large signs on bland wall areas.</p> <p>Lighting: Internal illumination is prohibited. Backlighting is prohibited unless the letters or figures of the sign are freestanding (from each other), modest in scale, and appearing to be cut or aligned in the same plane.</p>
<p>Perpendicular/suspended signs (also referred to as "blade" signs): Shall be complementary to the building material and color.</p>	<p>Height and width: One-dimension (depending on vertical or horizontal orientation) shall not exceed 2'6". The sign must have a minimum clearance of 8'0" above the public right of way. All object, bands, background of any kind used for the benefit of the sign (unless a distinct architectural feature) will be used to calculate the dimension.</p>	<p>Composition: There must be minimum of 15'0" between suspended signs and perpendicular signs.</p> <p>Lighting: Internal illumination is prohibited. Backlighting is prohibited.</p>
<p>Window signs: Window paint, plastic, or a high quality paper (inside only). The material should not deteriorate for a minimum of 30 days.</p>	<p>Height and width: The area of any window sign shall not exceed 20% of the window (a single window unit or panel; not the entire glass area of a building or facade) on which it resides.</p>	<p>Composition: Lettering shall be displayed on the glass with no background (clear glass) or with translucent background if very small (less than 4 sq. ft. in area).</p>
<p>Neon signs (in storefronts)</p>	<p>Maximum dimension (height or width): Inside storefront windows: 3'0". Maximum area: 6 sq. ft.</p>	

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

Sign Type	Configuration	Technique
Awning signs: Shall be complementary to the building material and color, with differences in material or finish to be minor, i.e., not loud or competitive.	Height and width: The sign must have a minimum clearance of 8'0" above the public right of way. A sign shall not project more than 8', nor be less than 2'.	Composition: Lettering shall not exceed 5" on awnings. Awnings with signage shall take traditional awning forms. Awning signs shall not project above any part of the roof line. Advertisements: May cover only an area of less than 40% of the text.
Canopy/gas island: Shall be complementary to the building material and color; not necessarily the same, but not jarring or competitive.	Height and width: Height shall not exceed 20'0" from grade and no canopy fascia may exceed 4'0" in height. Individual letters, logos, or symbols may not exceed 3' in height or project out from the canopy more than 18". Shall not exceed 15% of the area of the side of the canopy in which it is located.	Composition: The canopy shall not extend more than 10'0" from the pump. Lighting: The island shall have sufficient lighting for safety, with light levels between 0.1 to 1.0 foot-candle (depending on the circumstance). The light may be directed outside of the canopy area. Advertisement: Gasoline pricing not allowed, if sized above 10 sq. ft. in sign size.
Prohibited conditions	Roof installations; moving elements.	Building signs must not obscure key architectural details of its building setting.

LANDSCAPE SIGNS

Monument types: Shall be complementary to the adjacent building(s) in material and color. All monument signs must include a masonry (or stone) base (between 1'0" and 2'0" in height).

Height and width: The sign must not exceed 6'0" in height from its site grade or from the nearest public right of way.

Location: The sign shall be placed in a minimum of 3'0" from the public right of way, with a minimum of 100' between monument signs. Context and setting: Monument signs shall have a minimum of 3'0" of landscaping (a minimum of 6'0" if along a major thoroughfare) around the base of the sign, including shrubs, flowers, and ground cover. Structural support poles shall be concealed. The maximum square footage of the sign (not including the masonry base) shall not exceed 30% of the street frontage length (example: 100 linear feet x 30% = 30 sq. ft.) with a maximum of 50 sq. ft.

Lighting: Monument signs shall be externally illuminated, without glare to passersby or light spillage "fugitive".

Exception: Individually constructed letters with internal lighting may be used (all wiring, mounting brackets, bolts, tracks, etc., shall not be visible).

Prohibited conditions: Pole and pylon types. Signs that are not set back at least 3' from the public right of way. Signs that are not set back at least their height or width (whichever is greater) from the adjoining side property line.

NVOD CODE

Wasatch County, Utah

STREETSCAPE SIGNS

Public necessity signs: Permanent materials shall be used; good quality and attractive.
Height and width: Shall meet the minimum and maximum standards of the regulating entity.
Installed as required by the county engineer or public works director.

Advertising benches (bus): Permanent materials shall be used; good quality and attractive.
Height and width: The bench shall not exceed 10'0" in length and 4'0" in height.
Location: Advertising benches must be located at transit stops.
Composition: Shall not be placed within the public right of way, but shall be within 10'0" of a streetlight.
Lighting: Additional lighting is prohibited, as the streetlight shall suffice.

At transit enclosures: Advertising shall be placed within a sturdy, high quality sign enclosure that allows changing displays or posters.
Height and width: Shall not exceed 20% of an individual wall area of the enclosure upon which is placed the advertising.
Composition: There shall be a minimum of 2'6" of transparency (glass, open) between the base area of the structure and the signage.
Lighting: Minimum 0.1 foot-candle, for comfort and safety. White lighting shall be installed internally and externally, but shall be directed perpendicular down toward grade.

Pole types: High quality construction in steel, aluminum, concrete, and (in rural conditions) wood poles.
Height and width: Small scale pole signs are accepted at the scale of a minor streetlight (16'0"), or smaller, for directional or (general) commercial information.
Lighting: Rarely used, but if employed, shall be very small scale and oriented only to the signage.

Prohibited conditions: Any temporary sign placed within the public right of way.
Exception: Community streetlight banner.

THOROUGHFARE SIGNS

Public necessity signs: Shall meet the minimum standards of the federal highway and transportation administration.
Height and width: Shall meet the minimum and maximum standards of the federal highway and transportation administration.
Composition: Shall meet the minimum and maximum standards of the federal highway and transportation administration.

ROADWAY ADVERTISEMENTS

Billboard signs: Shall meet the minimum standards of the federal highway and transportation administration, state, or local regulations; whichever is the more strict.
Height and width: Shall not exceed the maximum standards of the federal highway and transportation administration, state, or local regulations; whichever is the more strict.
Composition: Shall not exceed the maximum standards of the federal highway and transportation administration, state, or local regulation; whichever is the more strict.
Prohibited conditions: Billboards are prohibited within the master plan area. Billboards are defined as:
a. Advertising for businesses not on the same parcel as the sign, or businesses not contiguous to (or within 200' of) the thoroughfare on which the sign faces.
b. Any signs of a large size (above 100 sq. ft. in area).

NORTH VILLAGE OVERLAY DISTRICT ORDINANCE

Wasatch County, Utah

TABLE 11.3 - TEMPORARY SIGNS		
Sign Type	Configuration	Technique
Going out of business: Signs announcing the closing of a business or ownership.	A maximum height of sign face of 8' and a maximum size of 64 sq. ft. A maximum overall height of 10' of combined sign and base/support.	3 per business. Must be located entirely on private property, but may be located within 1 block off site. Requires written permission of the private property owner(s) where the signs are to be located. 90 day (maximum) period.
Directional development signs: Temporary directional signs for new subdivisions and planned unit developments being marketed or constructed.	Height and width: A maximum height of sign face of 8' and a maximum size of 64 sq. ft. A maximum overall height of 10' of combined sign and base/support.	3 per development. Must be located entirely on private property, but may be located within 1 block off site. Requires written permission of the private property owner(s) where the signs are to be located. 90 day (maximum) period.
Gas pump signs: Shall be complementary to the building material and color. To prevent advertising above gas pumps, a high quality changeable sign (bottom portion of the gas pump itself only) may be used to advertise.	Height and width may not exceed the base of the standard gas pump. The height and width of the temporary sign must fill the base area completely, replacing the typical plastic panel in some manner.	The sign(s) shall be placed within a permanent sign enclosure only (on the base of each side of the pump). 1 double faced permanent sign (changeable) for each type of fuel sold is allowed per gas island.
Banners: Special promotion, grand opening, going out of business.	A maximum height of sign face of 3' and a maximum width of the tenant space is permitted.	The banner shall be placed on 1 wall. The sign shall not interfere with a window, ingress/egress, lighting, or mechanical equipment.
A-frame: Special promotion, grand opening, going out of business.	A maximum height of sign face of 3' and a maximum width of 3' is permitted.	The sign shall not be placed within the public right of way.
Window signs: Signs placed inside a window for temporary advertisement.	A maximum of 20% of a window panel area may be used for a permanent (changeable) sign or temporary advertisement.	1 per building side, mounted from the inside of the building.
Post and stake signs: Signs mounted to posts, poles, or stakes, and in any way attached to the ground.	A maximum height of 4' and a maximum size of 20 sq. ft. is permitted. A maximum overall height of 10' for combined sign and base/support.	1 per street front.